

Brown Riverfront Esplanade Foundation + City of Daytona Beach

Daytona Beach Riverfront Esplanade Advanced Schematic Design Executive Summary

June 10, 2019 | version 2.6

**Brown Riverfront Esplanade
Foundation, Inc.**

213 Riverside Drive
Ormond Beach, Florida 32176

Foundation Board

President **J. Hyatt Brown**

Director **Cynthia “Cici” Brown**

Director **Emory Counts**

Director **Glenn Ritchy**

Director **Kelly White**

 **Marquis Latimer + Halback**
LANDSCAPE ARCHITECTURE · PLANNING

34 Cordova Street, Suite A
St. Augustine, FL 32084
904.825.6747
www.halback.com

Jeremy Marquis, RLA, LEED AP BD+C

Project Design Lead

Fremont Latimer, RLA, ISA

Frederick Halback, RLA, FASLA

RS&H

Daniel J. Heumann, AIA, LEED AP

Project Manager

Ron Sill, RLA

Table of Contents

SECTION

A

Program Statement

SECTION

B

Illustrative Schematic Plan Overall

SECTION

C

SOUTH *Family + Garden Zone*

SECTION

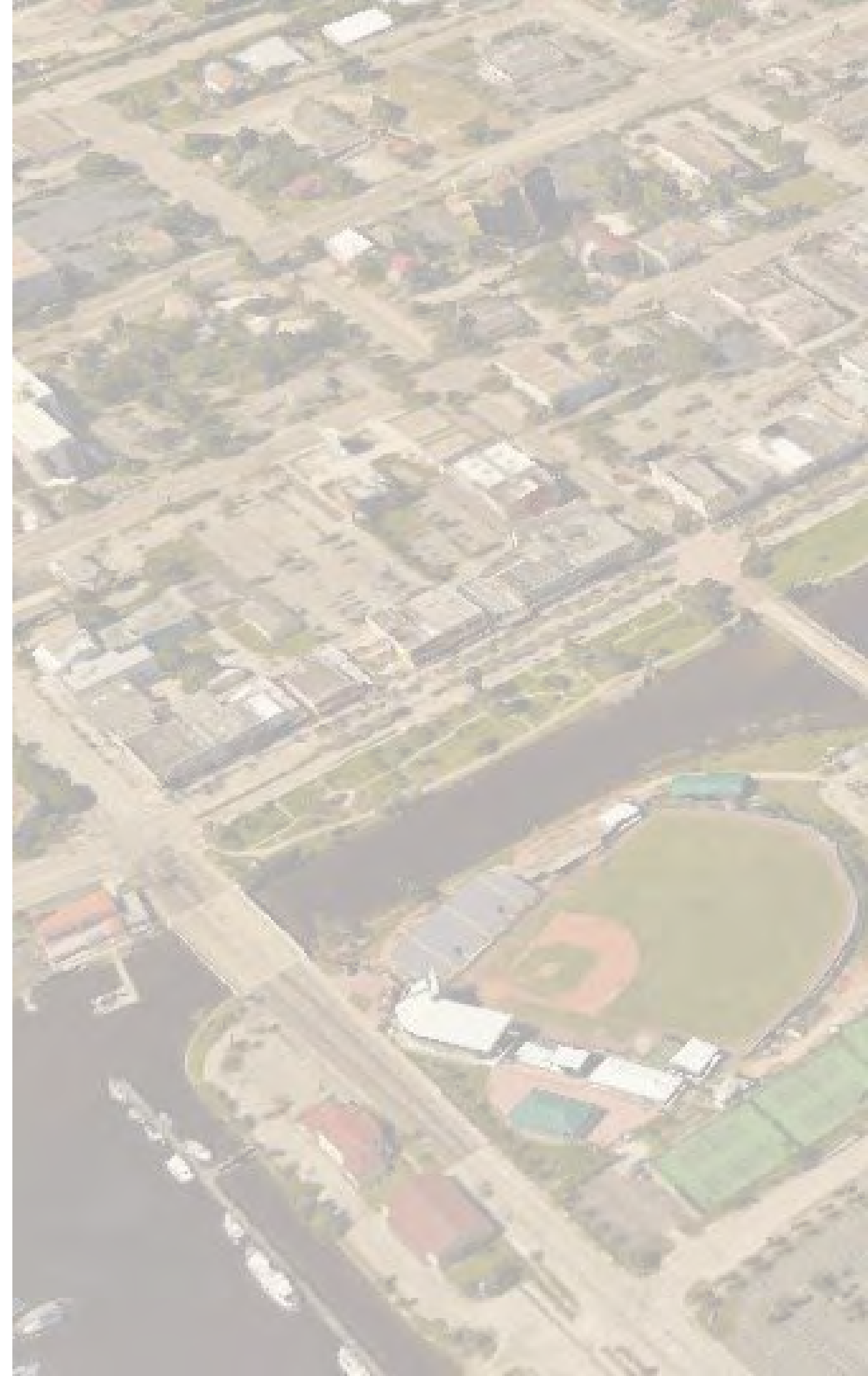
D

CENTRAL *Arrival / Gateway Zone*

SECTION

E

NORTH *Community Gathering Zone*





REIMAGINING FOR THE NEXT 100 YEARS

Riverfront Esplanade Development, Maintenance, and Lease Agreement Introduction

WHEREAS, The City of Daytona Beach, a Florida municipal corporation ("City"), owns, operates and maintains Riverfront Park, which is located within the City's downtown area, and which is bounded by Beach Street to the west, Fairview Avenue to the north, the Halifax River to the east, and Orange Avenue to the south; and

WHEREAS, across Beach Street from the north end of Riverfront Park, Brown & Brown ("B&B") is currently constructing a new high rise office complex (the "B&B Campus"), which the Parties hereto anticipate will be completed on or around December, 2020; and

WHEREAS, both Riverfront Park and the B&B Campus are located within the City's Downtown Redevelopment Area, previously established in accordance with the Community Redevelopment Act of 1969, Chapter 163, Part III, Florida Statutes ("CRA Act"); and

WHEREAS, in accordance with the CRA Act, the City has adopted the Downtown/Ballough Road Redevelopment Plan (as most recently amended by City Ord. 02-35); and

WHEREAS, in accordance with the CRA Act, each year a substantial portion of the real property ad valorem real estate tax revenue generated from properties within the Downtown Redevelopment Area ("TIF Revenue"), is set aside for use in redeveloping the Downtown Redevelopment Area in accordance with the Downtown/Ballough Road Redevelopment Plan; and

WHEREAS, the City and CRA anticipate that the B&B Campus, in combination with the additional private redevelopment that is anticipated to occur, will substantially increase the level of TIF Revenue currently generated on an annual basis within the Downtown Redevelopment Area; and

WHEREAS, Brown Riverfront Esplanade Foundation, Inc. ("Foundation"), a Florida nonprofit entity, was formed for the sole purpose of redeveloping, operating, and managing Riverfront Park, under a long-term lease with the City, as a **first-class, regionally-or nationally-recognized public park**, consistent with the high level at which Cascades Park (Tallahassee, Florida) Lake Eola (Orlando, Florida), and certain public botanical gardens within the State of Florida are managed and operated; and

WHEREAS, the parties intend that the Foundations' proposed redevelopment of Riverfront Park, which will cost \$15,000,000 or more, will transform the Park into a **first-class public amenity** with such improvements as a **walkable esplanade, a children's play area, scenic gardens, enhanced landscaping and land sculpting, water features, sculptures, outdoor exhibits, bike paths, running trails, lighting features, and restrooms**; and

WHEREAS, while the Foundation intends to raise funding to support repair and replacement of the improvements to be installed by Foundation within the Riverfront Esplanade, and to support special events that the Foundation may hold within Riverfront Park, the Foundation has requested that the City/CRA annually contribute funding to support the maintenance of the Park, consistent with the standard referenced above; and

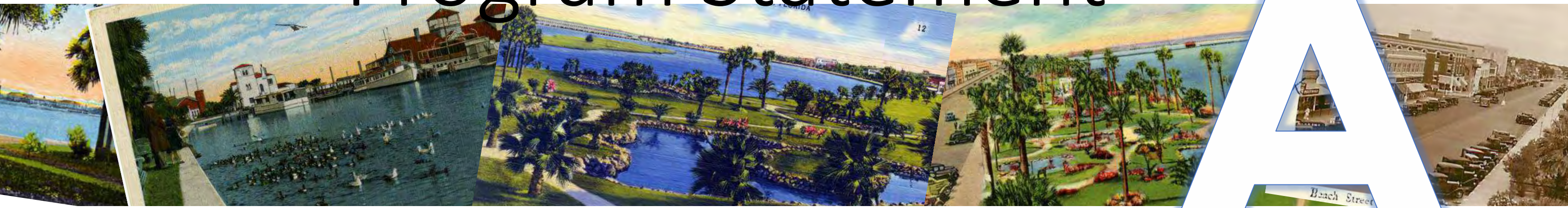
WHEREAS, the redevelopment of the Downtown Riverfront area, inclusive of Riverfront Park, is a primary redevelopment strategy of the City's Downtown/Ballough Road Redevelopment Plan; and

WHEREAS, the City has determined that the Foundation's proposal will advance the public interest; and

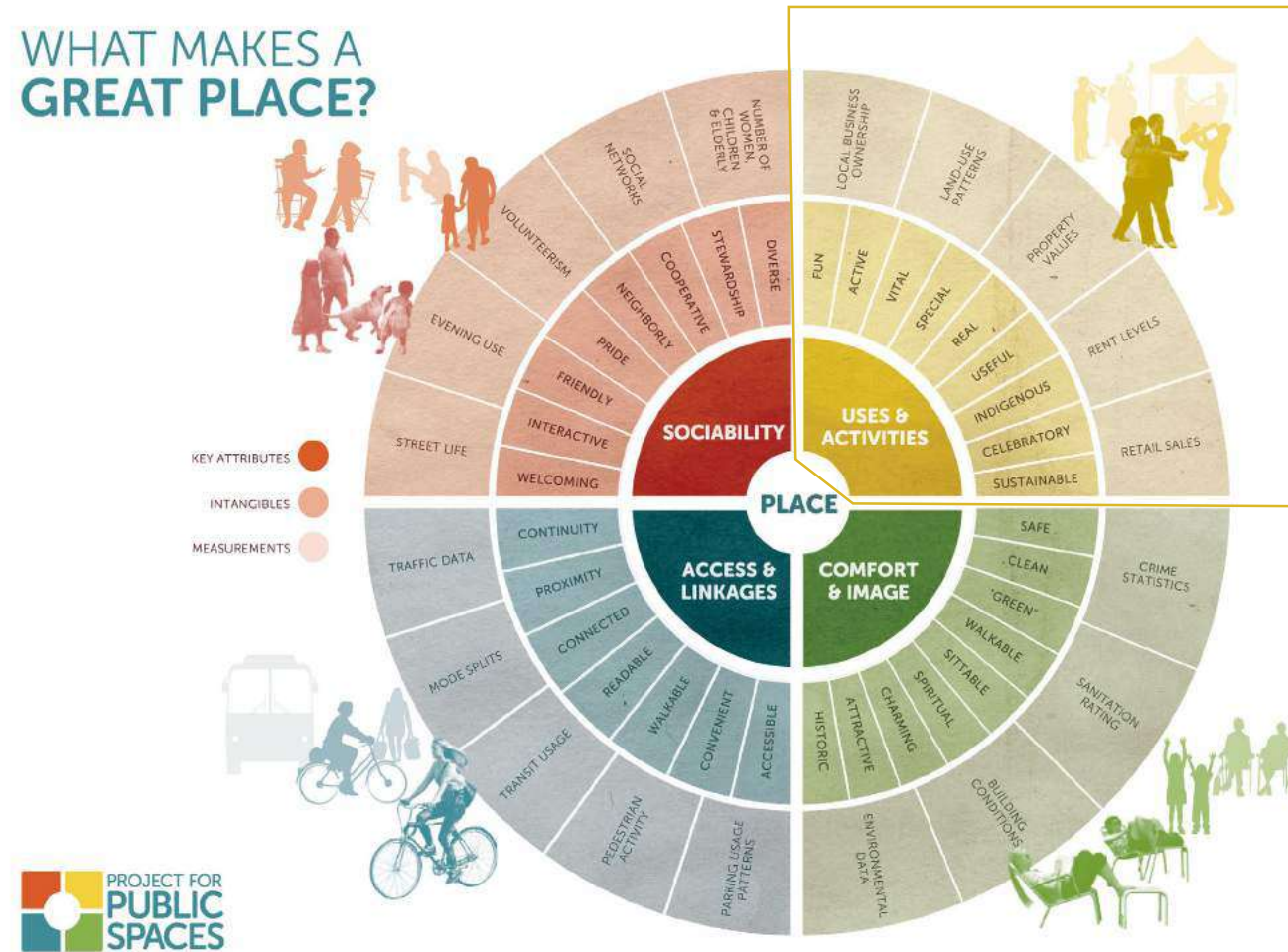
WHEREAS, the City and CRA have determined that the use of TIF Revenue to incentivize the Foundation to make the substantial improvements to Riverfront Park referenced above, and thereafter manage and operate the Park as a first class public park as described herein, will further the goals and objectives of the Downtown Redevelopment Plan (including but not limited Policies 5.1.2, 5.1.9, 5.4.6, 5.4.14, 5.5.2, 5.5.4, 5.5.6, and 5.5.8 thereof); and

WHEREAS, the City and CRA have determined that the completion of the B&B Campus referenced above, in combination with the proposed improvements to, and management and operation of, Riverfront Park as provided herein, are likely to serve as a major catalyst to spur additional redevelopment of the Downtown Redevelopment Area, thus further advancing the goals and objectives of the Downtown Redevelopment Plan.

ML+H Program Statement



WHAT MAKES A GREAT PLACE?



USES & ACTIVITIES

1. BOTANICAL GARDEN
2. SPLASH PAD
3. INTERACTIVE FOUNTAIN
4. RIVERFRONT PROMENADE
5. SWEETHEART TRAIL
6. WATER / RIPARIAN GARDENS WITH PATHS
7. DUNE OVERLOOK
8. PICNIC AREAS
9. HISTORICAL STORYTELLING
10. EVENT LAWNS
11. CLEAN RESTROOMS
12. DOG PARK
13. DAY DOCKS (BY OTHERS)
14. STAND UP PADDLEBOARD (BY OTHERS)
15. MANATEE ISLAND (BY OTHERS)
16. CITY ISLAND LIBRARY (BY OTHERS)
17. JACKIE ROBINSON BALLPARK (BY OTHERS)

Graphic by the Project for Public Spaces.





REIMAGINING FOR THE NEXT 100 YEARS PROGRAM

The goal of the *Daytona Beach Riverfront Esplanade* is to serve as an **iconic, multifunctional greenspace** for the residents of Daytona Beach.

The site is generally divided into three specific zones:

- **SOUTH** *Family / Garden Zone*
Orange Avenue - International Speedway Blvd.
- **CENTRAL** *Arrival / Gateway Zone*
International Speedway Blvd. – Bethune Blvd.
- **NORTH** *Community Gathering Zone*
Bethune Blvd. – Main Street

Each zone has a specific purpose and program, which is identified on the following page. All of this is designed to create an open and engaging park space that supports the “Power of 10”, a concept by the *Project for Open Spaces*. Essentially, the idea is to cluster a series of activities and “draws” to bring the community together. The park includes a series of spaces and activities, such as the following:

GARDENS

- *Botanical Garden (Rose Garden, Palm Garden, etc.)*
- *Tidal Landscapes*

WATER FEATURES

- *Splash Pad*
- *Interactive Fountain*

WALKING + BICYCLING

- *Riverfront Promenade*
- *Sweetheart Trail*

NATURAL VIEWING + GATHERING AREAS

- *Dune Overlook*
- *Picnic Areas*
- *Historical Storytelling (Bethune Plaza)*
- *Event Lawns*
- *Clean Restrooms*

POWER OF 10+

HOW CITIES TRANSFORM THROUGH PLACEMAKING

Graphic by the Project for Public Spaces.



Photos by Others or Jeremy Marquis.



NORTH

CENTRAL

SOUTH

Family + Garden Zone

SOUTH

The southern portion of the park is envisioned as the **family and garden zone**; areas for kids to play, manicured gardens for couples to enjoy, and a raised botanical garden for locals to explore.

At the southern entrance to the esplanade, visitors will find an **intimate rose garden** with flowering trees above. This space is the perfect venue for a **wedding or outdoor reception**, allowing the garden to serve numerous purposes. Approximately 70-80 people can comfortably sit for a ceremony.

Follow the curving lines in the pavement north to the **riparian gardens**. The raised gardens serve both to keep stormwater out and healthy plants in. Here the existing sulphur springs are abandoned, instead rethought into a bubbling, meandering stream dotted with small islands and floating plants.

The northernmost portion of the garden shall be home to the **hammock and palm gardens**. Towering oaks on the north blend with expansive swathes of lush tropicals and palms. Meandering paths will dart between swaying bismark and mule palms, while verdant carpets of fern and ginger cover path margins.

A large **water splash pad** is nestled within the palm garden, creating an active and dynamic space for families to enjoy without disturbing those strolling through the gardens.

Finally, an **expansive riverfront promenade** bounds the east edge of the gardens. Here joggers and visitors can enjoy the breezes off the river and truly interact with the Halifax.



Arrival / Gateway Zone

CENTRAL

The central area of the park shall serve as the **Esplande's gateway and arrival zone**. Here the *News Journal Center* currently hosts cultural events and exhibitions, residents will walk, stroll and jog, visitors will enjoy numerous expanded water features, and local shoppers will enjoy lunch on the dune overlooking the river.

Visitors will discover an **expanded pond and lake system**, punctuated by the formal **Fountain Plaza** flanking the existing Veteran's Memorial. The palm-lined courtyard shall serve as an iconic meeting space where visitors can enjoy the lush plantings, take a walk around the lake, and fully interact with the water bodies dotting the area.

As one moves north, the landscape becomes more natural and organic. **Curving tidal pools** pass under bridges along the Sweetheart Trail, and the topography begins to transform as one find themselves **cresting a dune system** at the point. Here, uninhibited 180-degree views of the Halifax River are the main attraction. Where once one simply walked along the expansive river, one may now look out and down onto the entire water body.

As one comes back down to sea level, the tidal ponds give way to **lush grasslands** and transition into the community gathering space.



Community Gathering Zone

NORTH

The northern area of the esplanade is designed to serve as an **expansive community gathering space**.

On axis with Mary McLeod Bethune Boulevard, **Bethune Plaza** shall serve as a transition point between the gathering and gateway zones. . **At the top of the circular plaza is an area for statuary of notable citizens** of Daytona's past, including Dr. Mary McLeod Bethune. **Concentric, circular walls** shall create a contemplative space within the larger path system. These terraced landscape walls shall serve as a node, connecting the different park sections.

Open event lawns shall play host to numerous programs, festivals, and fairs throughout the calendar year. **A planted row of oaks and swaying grasses** shall bound the lawns to the west and **tidal pools** and bioswales shall delineate the eastern edge, transitioning into the river. Patches of coontie, cascading jasmine, and cardboard palm shall dot the paths.

A **new plaza at the foot of the Manatee Island bridge** is also proposed. This plaza will serve as both an entry and central node within the greater community events space.

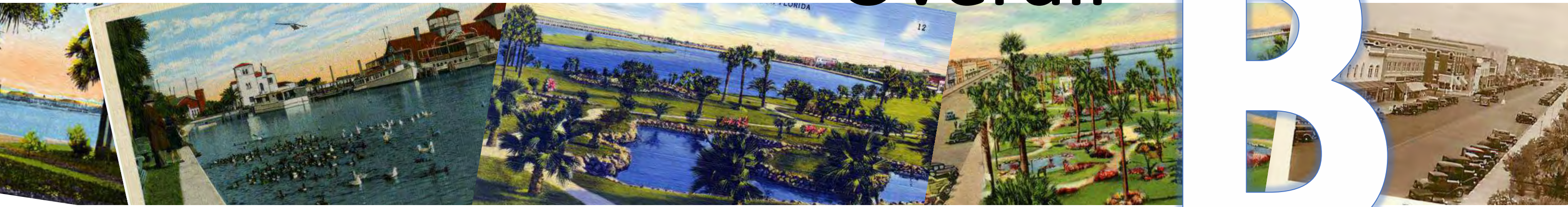
The **Josie Rogers house** is recommended be moved north to a more prominent position on the rivers edge, situated amongst numerous walking paths.

The area surrounding it activated by a **large dog park** and run serving the residents of the surrounding area without disturbing the larger event spaces.



REIMAGINING FOR THE NEXT 100 YEARS

ML+H
Illustrative Schematic Plan
Overall





Final Master Plan

ILLUSTRATIVE



LEGEND OVERALL

- A** Rose Garden
- B** Riparian Garden
- C** Palm Garden
- D** Hammock Garden
- E** Promenade
- F** Entry Crosswalk(s)
- G** Manatee Plaza
- H** Expanded Pond
- I** Community Dock
- J** Dune Overlook
- K** Sweetheart Trail
- L** Fountain Plaza
- M** South Events Lawn
- N** Bethune Plaza
- O** North Events Lawn
- P** Josie Rogers House
- Q** Dog Park
- R** Manatee Island



REIMAGINING FOR THE NEXT 100 YEARS

ML+H SOUTH

Family + Garden Zone







LEGEND SOUTH

- A** Rose Garden
Sized to support 20-30 chairs, plus the open lawns on either side. Capacity for small wedding or event of 40-50 people. Two trellises.
- A1** Rose Garden Central Plaza
- A2** Rose Lawns
- A3** Raised Plinth + Entry Sign
- A4** Landscape Screening Transformers

- B** Riparian Garden
- B1** Riparian Garden Central Plaza
- B2** Meandering Stream
- B4** Water Feature Disappears and Reappears

- C** Palm Garden
- C1** Splash Pad
- C2** Water Course
- C3** Water Fountain
- C4** Restrooms
- C5** Meandering Path

- D** Hammock Garden

- E** Promenade
- E1** Overlook(s)
- E2** Existing Walkway to Library

- F** Crosswalk / Entrance to Park





PERSPECTIVE | Rose & Riparian Garden Overview



PERSPECTIVE | Riparian Garden



Little Gem Magnolia



Orchid Tree



Princess flower



Brown eyed susan



Mexican Sage



Pink Drift Rose

Rose Garden Palette

Trees

Magnolia grandiflora 'Little Gem'
Bauhinia x blakeana

Little Gem Magnolia
Orchid Tree

Shrubs and Perennials

Rosa spp.
Salvia leucantha 'Midnight'
Tibouchina urvilleana 'Rich Blue'
Camelia sasanqua
Rudbeckia goldstrum
Gardenia jasminoides 'Radicans'
Hydrangea macrophylla
Fatsia japonica

Rose Species
Mexican Sage
Princess Flower
Sasanqua Camelia varieties
Brown Eyed Susan
Miniature Gardenia
French Hydrangea
Japanese Aralia



River birch



Pond Cypress



Papyrus



Rose Mallow



Blue eyed grass



Horsetail

Riparian Garden Palette

Trees

Betula nigra
Taxodium ascendens

River Birch
Pond Cypress

Shrubs and Perennials

Equisetum hyemale
Sisyrinchium angustifolium
Muhlenbergia capillaris
Chasmanthium latifolium
Hibiscus moscheutos
Cyperus alternifolius

Horsetail
Blue Eyed Grass
Pink Muhly Grass
River Oats
Rose Mallow
Papyrus







Overlook

Promenade

Restroom
(Burgoyne Casino)

Oak Hammock Plantings

Splash Pad + Deck

Palm Plantings

Magnolia Avenue (to City Island)

Pedestrian Connector

PERSPECTIVE | Palm Garden (Splash Pad) & Hammock Garden





PERSPECTIVE | Hammock Garden



Bismark Palm



Mule Palm



Caranday Palm



Southern Live Oak



Sabal Palm



Macho Fern



Cardboard Palm



Butterfly Ginger



Autumn Fern



Oak Leaf Hydrangea



Saw Palmetto

Palm Garden Palette

Trees

- Syagrus romanzoffiana*
- X Butiagrus nabonnandii*
- Chamaerops humilis*
- Sabal palmetto*
- Phoenix sylvestris*
- Phoenix dactylifera*
- Phoenix canariensis*
- Butia capitata*
- Bismarckia nobilis*
- Copernicia alba*

- Queen Palm
- Mule Palm
- European Fan Palm
- Sabal Palm
- Wild Date Palm
- Medjool Date Palm
- Canary Island Date Palm
- Pindo Palm
- Bismark Palm
- Caranday Palm

Shrubs

- Zamia pumila*
- Zamia furfuracea*
- Nephrolepis biserrata*
- Philodendron xanadu*
- Philodendron bipinnatifidum*
- Rhapis excelsa*
- Rhapidophyllum hystrix*
- Neomarica caerulea*
- Hibiscus rosa-sinensis*
- Hedychium coronarium*
- Coontie Palm
- Cardboard Palm
- Macho Fern
- Xanadu Philodendron
- Split Leaf Philodendron
- Lady Palm
- Needle Palm
- Walking Iris
- Hibiscus
- Butterfly Ginger

Hammock Garden Palette

Trees

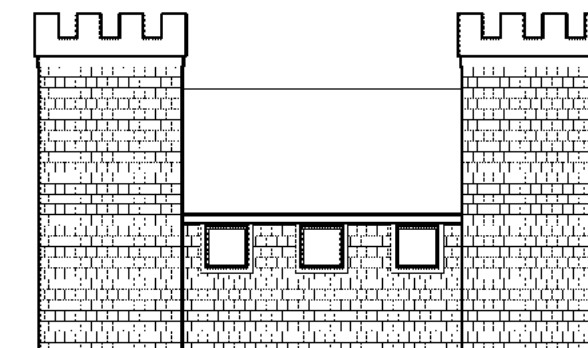
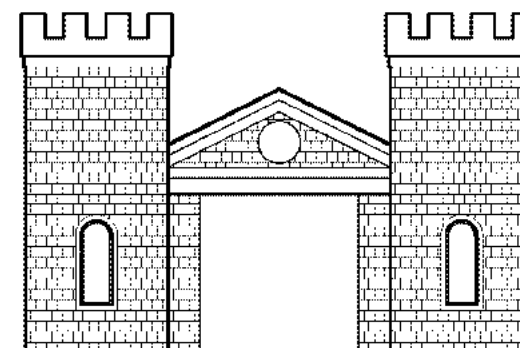
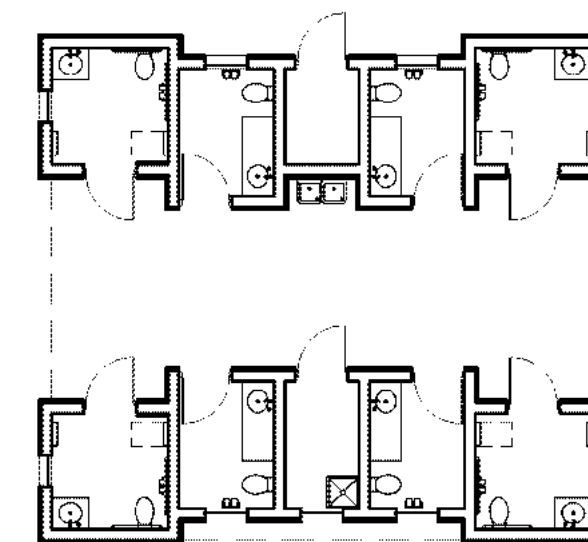
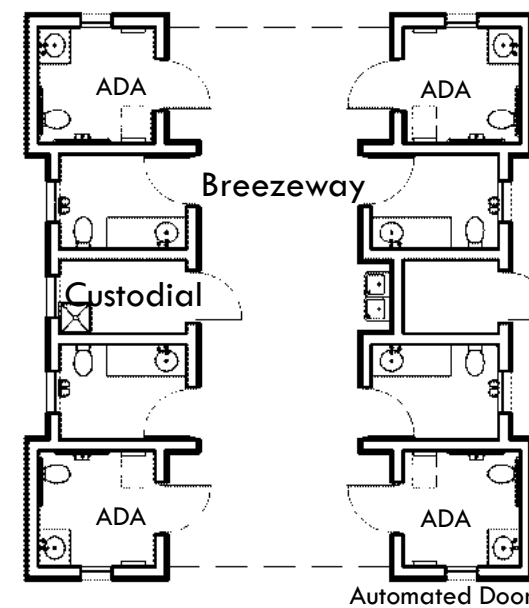
- Quercus virginiana*
- Sabal palmetto*
- Live Oak
- Cabbage Palm

Shrubs and Perennials

- Viburnum obovatum*
- Azalea indica* 'Formosa'
- Camelia japonica*
- Dryopteris erythrosora*
- Hydrangea quercifolia*
- Serenoa repens*
- Vaccinium darrowii*
- Walters Viburnum
- Formosa Azalea
- Japanese Camelia
- Autumn Fern
- Oakleaf Hydrangea
- Saw Palmetto
- Darrows Blueberry



Formosa Azalea



OPTION with ALL FAMILY RESTROOMS

Restroom Schematic

BURGOYNE CASINO

The architectural vocabulary for the Casino Burgoyne restroom building is a **reflection of the historical Casino Burgoyne** building that once stood only a short distance south of this site.

PROGRAMMING

The building will feature 8 family/unisex restrooms, storage room and a custodial closet. All restrooms will include a fold-down baby changing station.

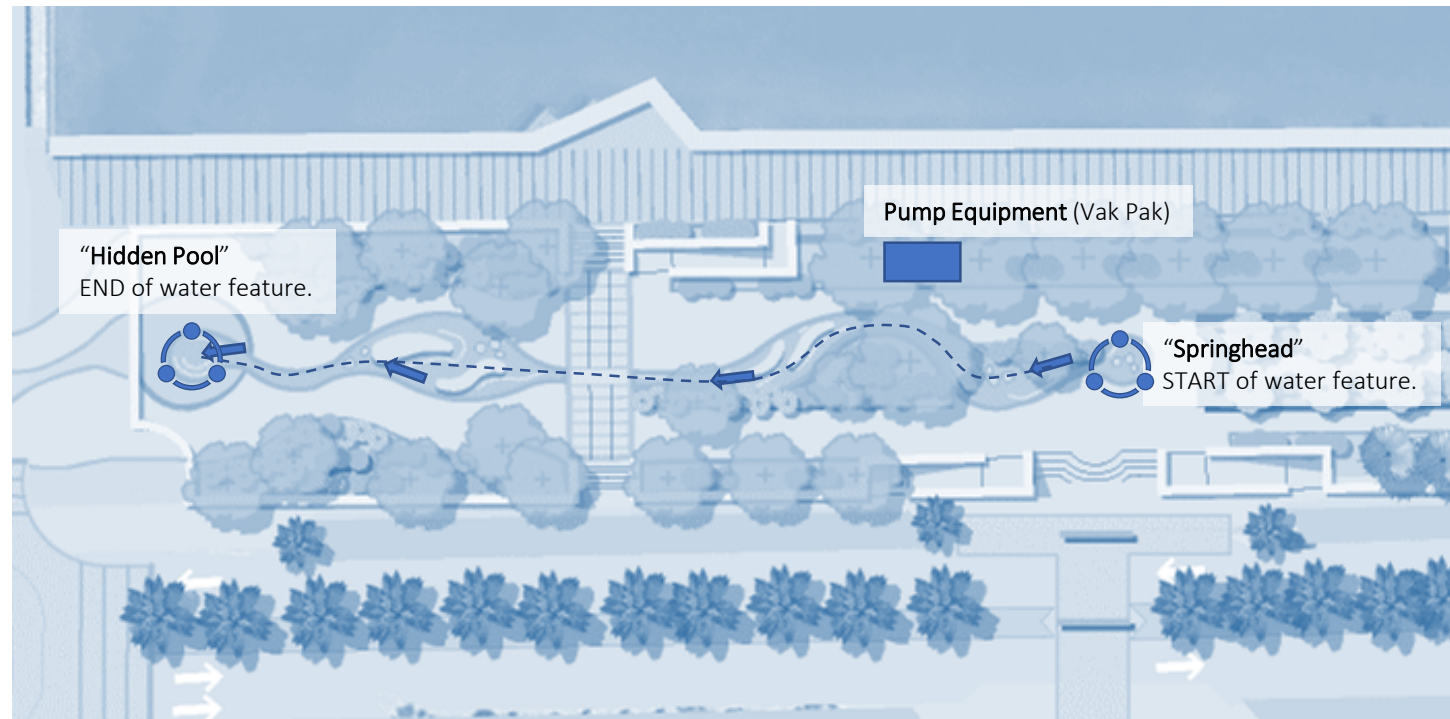
ENGINEERING ASPECTS

The structural system will consist of concrete masonry unit walls, prefabricated metal roof trusses which will support an architectural shingle roof system over exterior sheathing.

The exterior walls will be finished with cementitious shake siding.

The mechanical systems for the building will include 2 exhaust fans and 2 make-up air hoods with associated ductwork to accomplish 8 air changes per hour.



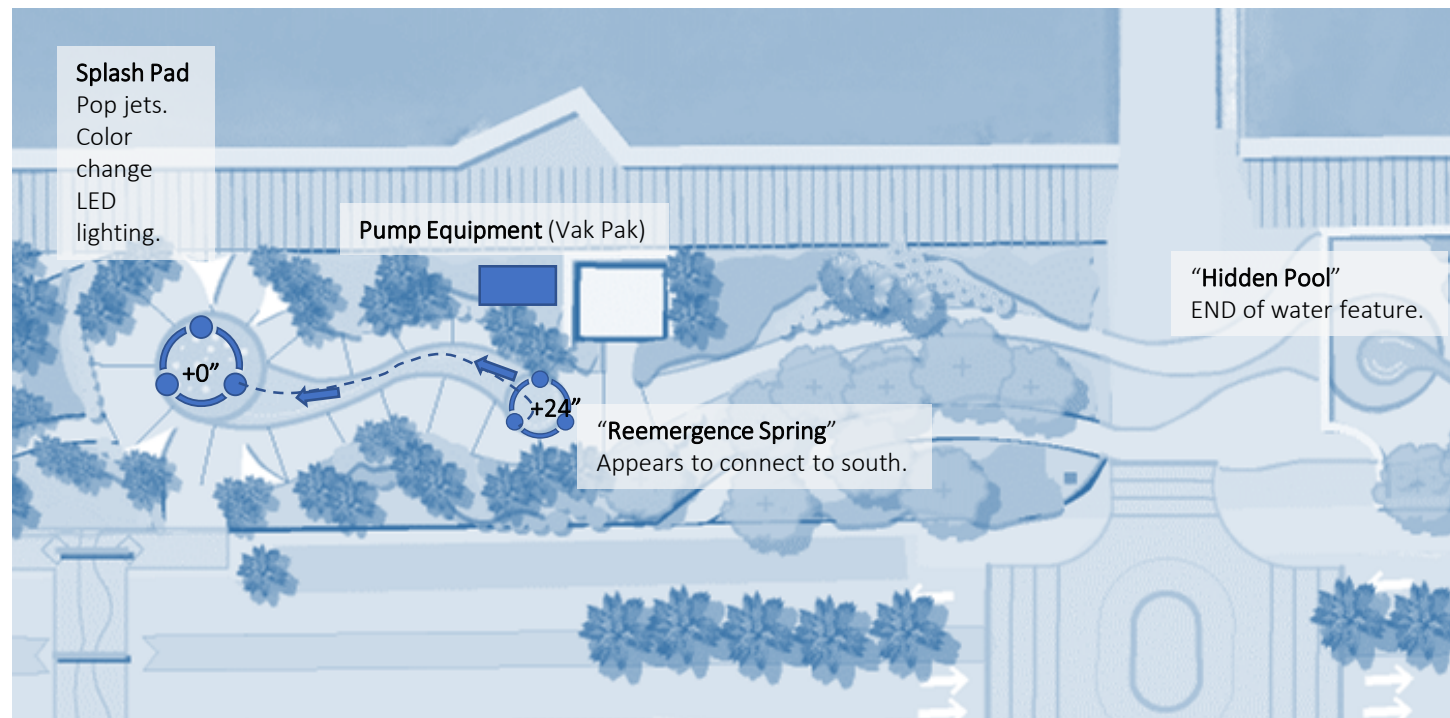


1 RIPARIAN GARDEN WATER FEATURE

- Pump Equipment (Vak Pak)
- Direction of Water Movement

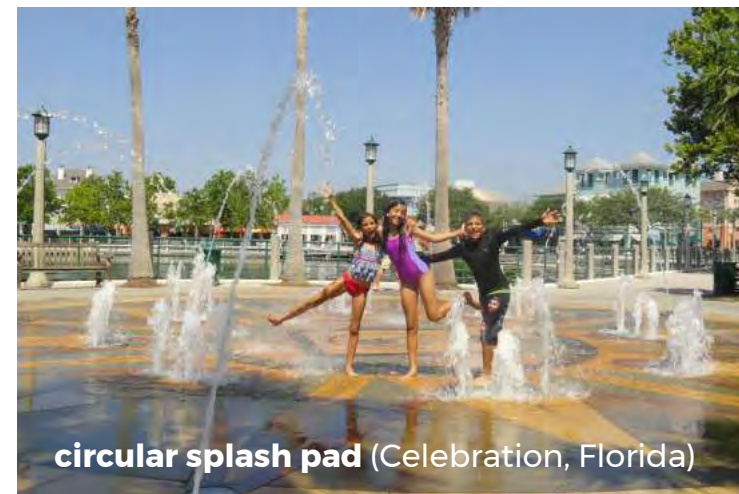


Photos by others.



2 SPLASH PAD IN PALM GARDEN

- Pump Equipment (Vak Pak)
- Direction of Water Movement



Photos by others.



Photos by Jeremy Marquis.



Schematic Overview of

WATER FEATURES

There are several water features located throughout the project, with two (2) focal water features located in the south garden zone.

1 RIPARIAN GARDEN WATER FEATURE

Envisioned as a “natural-esque” water runnel, the depth of the feature is 6”-10”. It starts with a “springhead”, with fountains “boiling” the water up from underground. From here, it heads northward to a pondless storage tank on the north end. Visually, hardscape will make it appear to “reemerge” in the splash pad area.

2 SPLASH PAD IN PALM GARDEN

The splash pad itself is primarily a basic circular medallion of “pop jets”, similar to the water feature at the heart of Celebration, Florida’s downtown.

Leading into the splash area is a sloping trough, dropping from the “reemerged” spring (from the Riparian Garden Water Feature) and running downhill (24” or so in elevation drop).

3 4 FOUNTAIN PLAZA

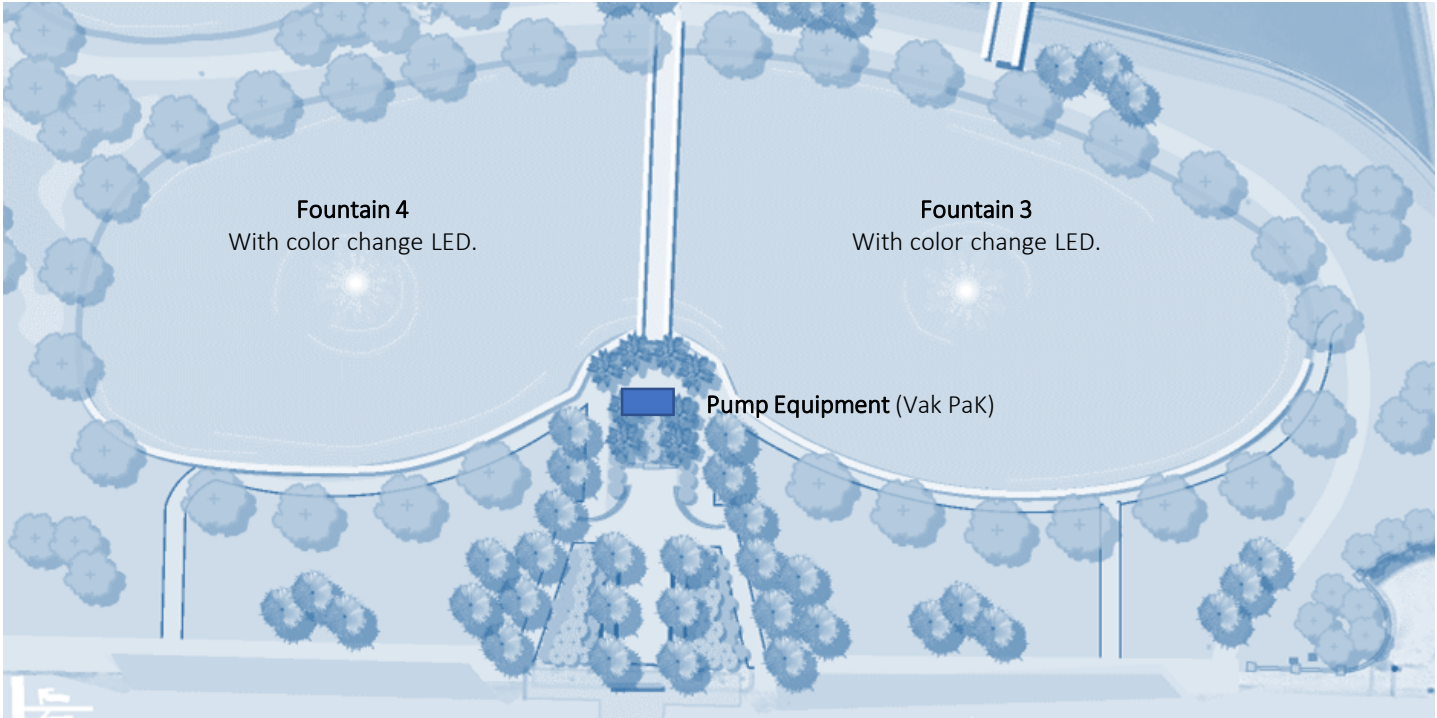
Two new fountains in the reshaped stormwater / feature pond flank the Veteran’s Memorial in the new “Fountain Plaza.” The fountains are recommended to have color change LED capabilities, which would be coordinated with the splash pad itself.



pond fountain



color change LED fountains



3 4 FOUNTAIN PLAZA

Pump Equipment (Vak PaK)

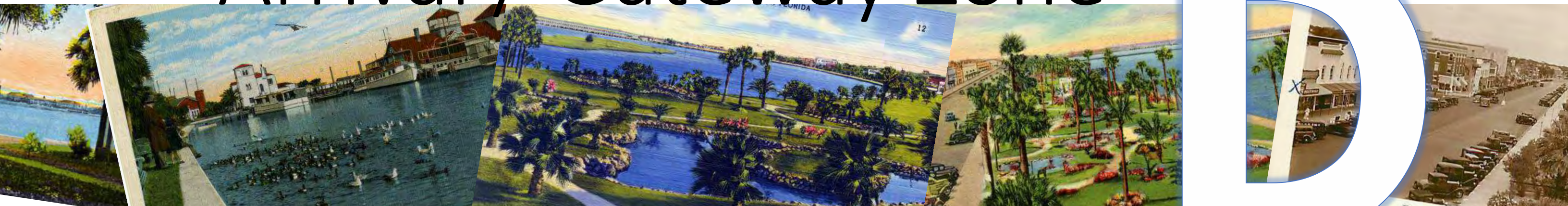
Photos by others.



PERSPECTIVE | Hammock Garden

ML+H
CENTRAL

Arrival / Gateway Zone





J

8'-10'

J2

J3

K

K1

J1

3'-5'

L



LEGEND CENTRAL

- G** Manatee Plaza
- H** Expanded Pond
- H1** Pond Promenade
- H2** Pedestrian Bridge over Pond
- I** Public Dock
- J** Dune Overlook
- J1** Pedestrian Bridge
- J2** Pedestrian Bridge
- J3** Dune Path
- K** Sweetheart Trail
- K1** Sail Shade Structures
- L** Fountain Plaza





Chinese Elm



Sabal Palm



Cardboard Palm



Cordgrass



Live Oak



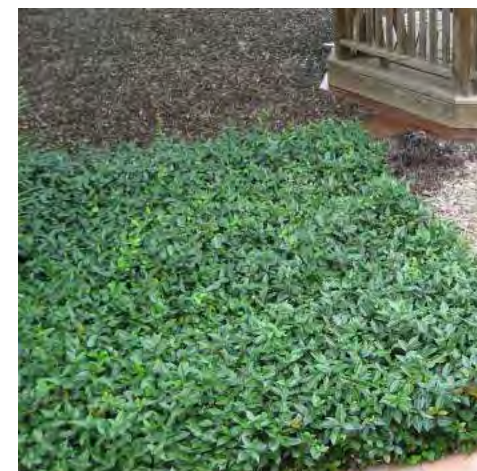
Coontie



Bird of Paradise



Cast Iron Plant



Asiatic Jasmine

North & Central Palette

Trees

Quercus virginiana
Sabal palmetto
Ulmus parvifolia

Live Oak
 Cabbage Palm
 Chinese Elm

Shrubs and Perennials

Zamia furfuracea
Spartina bakeri
Zamia pumila
Strelitzia reginae
Aspidistra elatior
Trachelospermum asiaticum

Cardboard Palm
 Cordgrass
 Coontie
 Bird of Paradise
 Cast Iron Plant
 Asiatic Jasmine



Botanical Gardens

Boardwalks + River Pathway

Sweetheart Trail

Oak Lined Pathways

Halifax River Overlook on Dune

Coquina Outcroppings



Dune Overlook

Boardwalks
+ River Pathway

News Journal Center

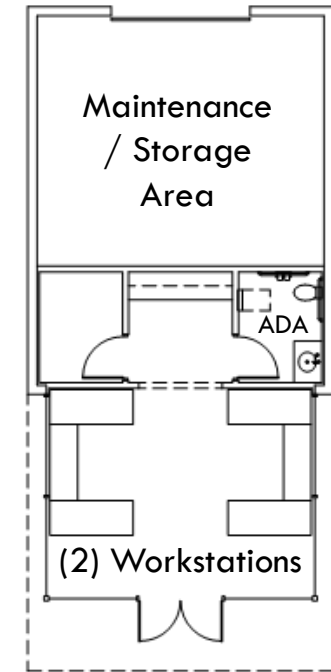
PERSPECTIVE | Tidal Landscape



Dune Overlook

River Pathway

PERSPECTIVE | Dune Overlook



Building Schematic

PARK HEADQUARTERS

The architectural vocabulary for the **park headquarters / park ranger** building is derived from the neighboring News Journal Center located just south of the site.

PROGRAMMING

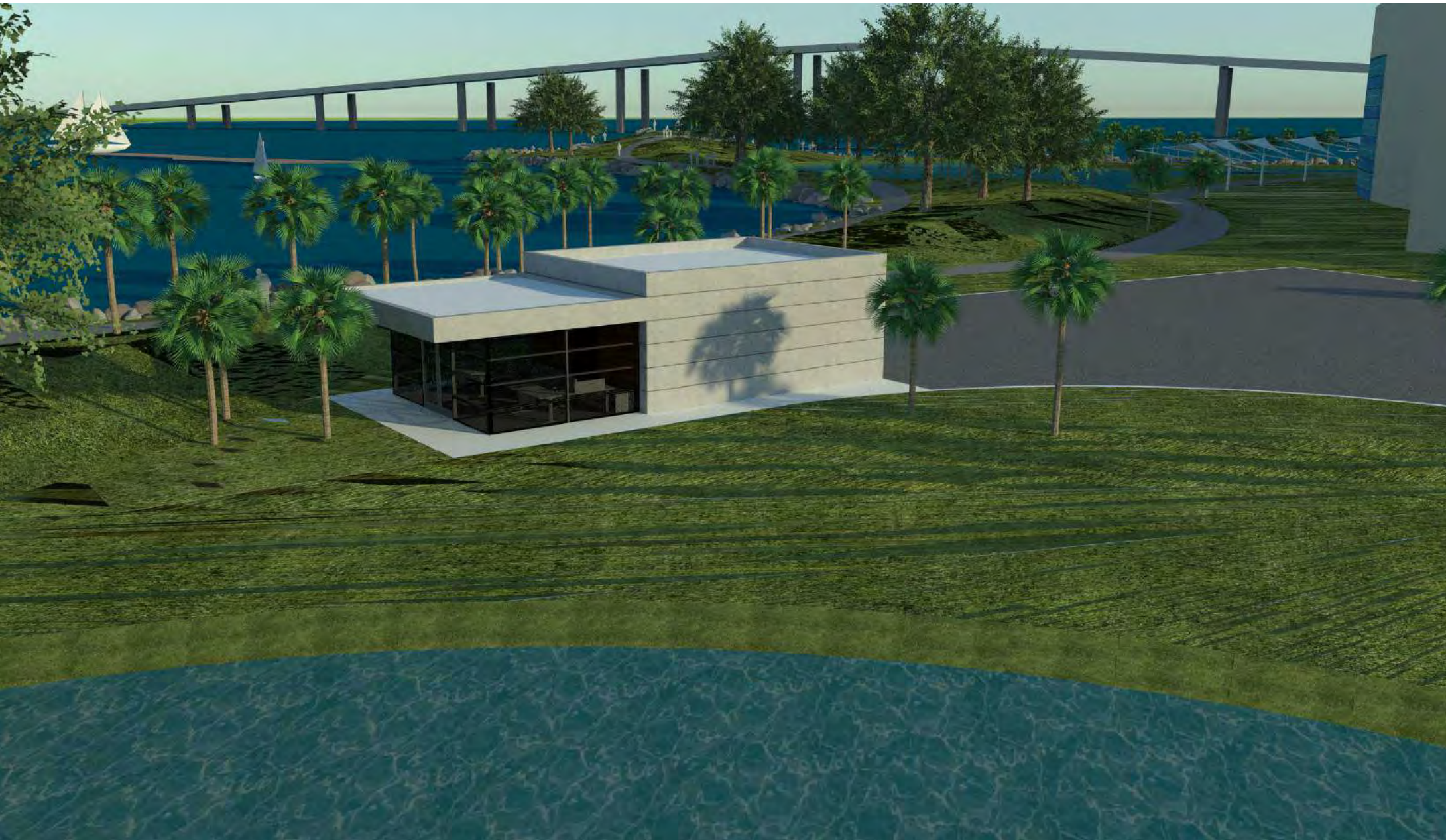
The building will feature an **open office space for two rangers**, a unisex restroom, kitchenette and two storage rooms.

ENGINEERING ASPECTS

The structural system will consist of concrete masonry unit walls and steel columns, beams and a roof deck which will support a modified bitumen roofing membrane over lightweight insulating concrete.

The exterior walls will be finished with stucco over self-furring paper-backed metal lath with horizontal reveals at 2'-0" on center vertically. The office space itself will be enclosed with a clear anodized aluminum storefront system with 1" insulating glass.

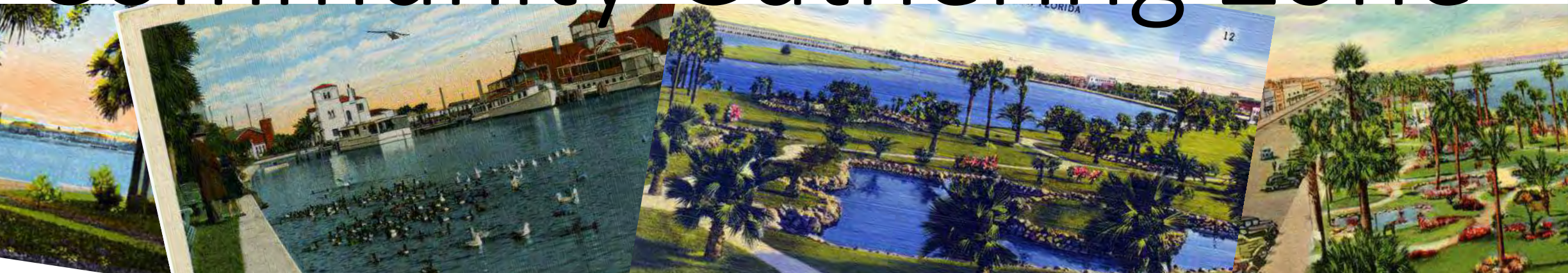
The mechanical systems for the building will include a 2 ½ ton split system HVAC unit, a makeup air hood for the air handler and an exhaust fan for the restroom.



REIMAGINING FOR THE NEXT 100 YEARS

ML+H NORTH

Community Gathering Zone





Q

P

R

O

N2

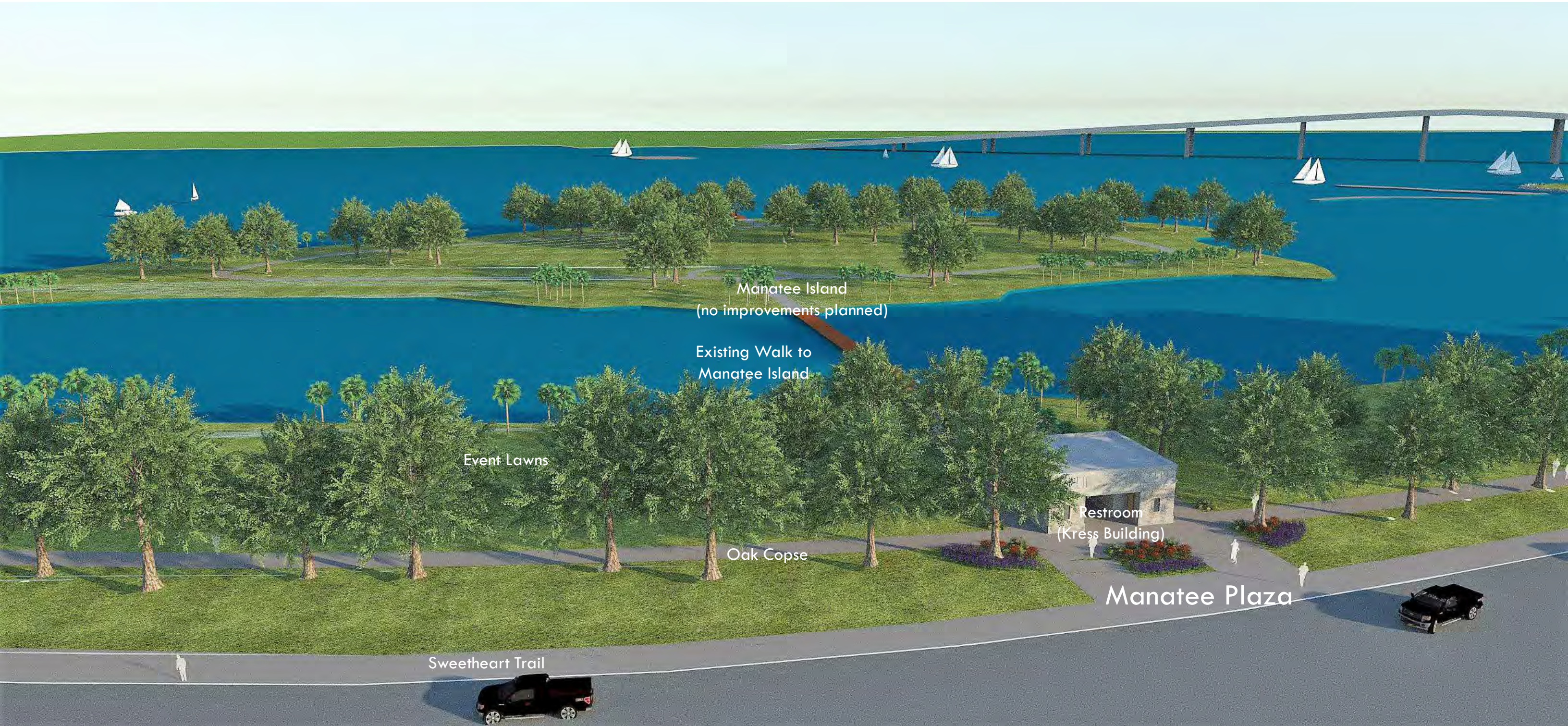
N



LEGEND NORTH

- M** Events Lawn South
- N** Bethune Plaza
- N1** North Restrooms
- N2** Pedestrian Bridge to Manatee Island
- O** Events Lawn North
- P** Josie Rogers House
- Q** Dog Park
- R** Manatee Island



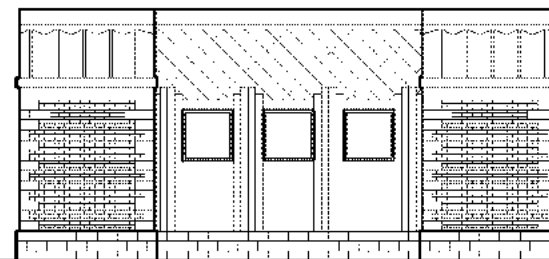
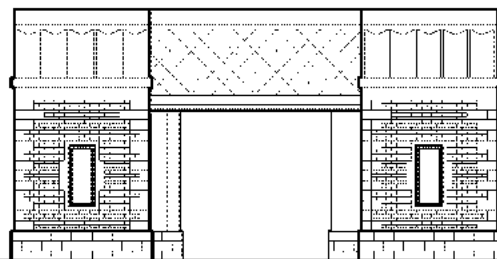
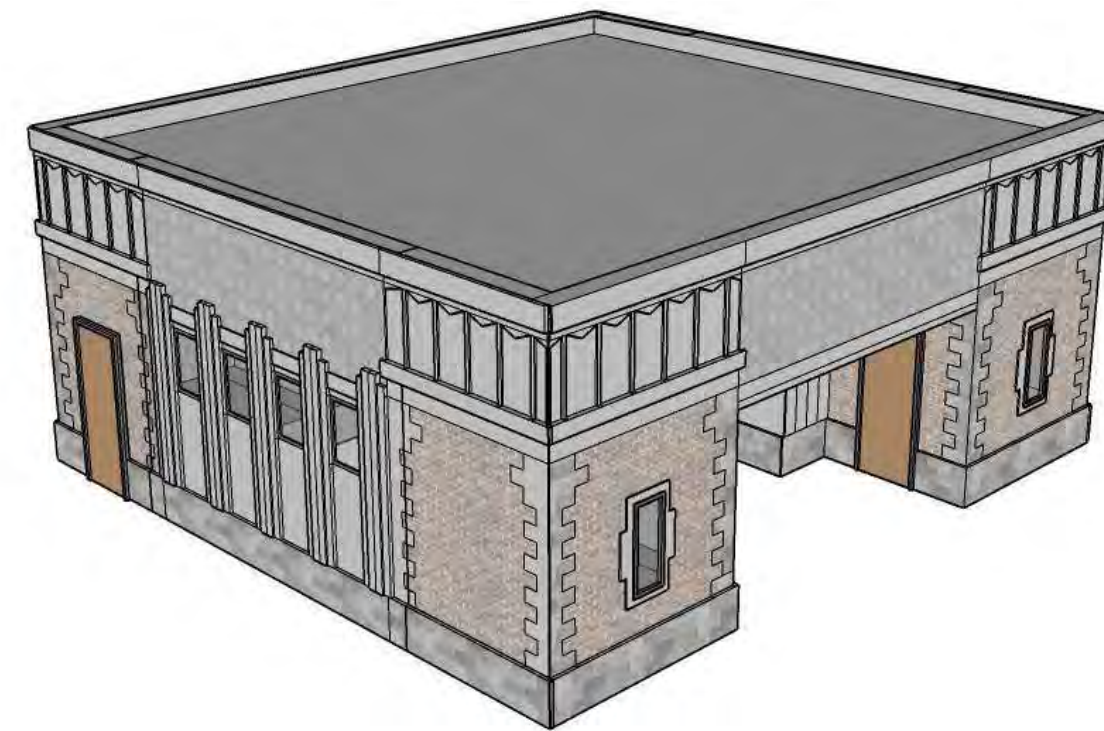
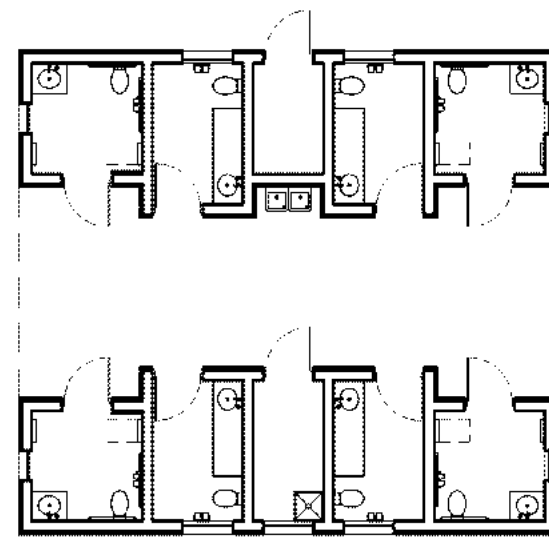
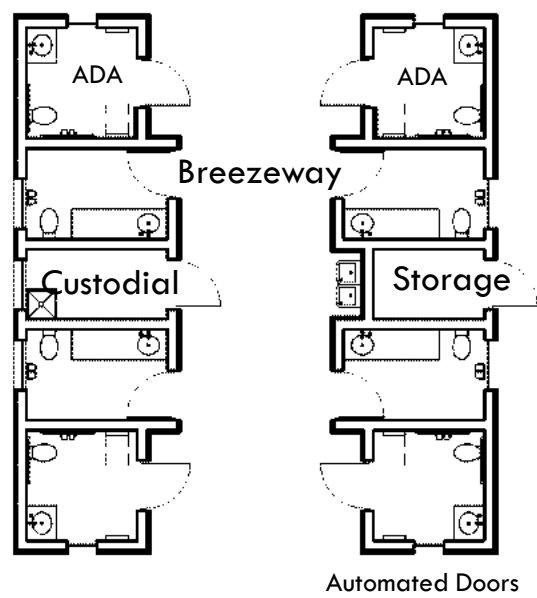


PERSPECTIVE | Manatee Plaza and Event Lawns



PERSPECTIVE | Manatee Plaza + Kress Restroom





OPTION with ALL FAMILY RESTROOMS



Restroom Schematic

KRESS BUILDING

The architectural vocabulary for the Kress restroom building is based on the historic Kress Building located on the west side of Beach Street between International Speedway Boulevard and Magnolia Avenue.

PROGRAMMING

The building will feature an organizing breezeway, a women’s restroom facility with 4 lavatories and 4 toilets, a men’s restroom facility with 4 lavatories, 2 toilets and 2 urinals, a family/unisex restroom and a custodial closet. All restrooms will include a fold-down baby changing station.

ENGINEERING ASPECTS

The structural system will consist of concrete masonry unit walls, steel beams and a steel roof deck which will support a modified bitumen roofing membrane over lightweight insulating concrete.

The exterior walls will be finished with either precast concrete and thin brick veneer or a stucco system over self-furring paper-backed metal lath.

The mechanical systems for the building will include 2 roof mounted exhaust fans and 2 roof mounted make-up air hoods with associated ductwork to accomplish 8 air changes per hour.



REIMAGINING FOR THE NEXT 100 YEARS

 Marquis Latimer + Halback
LANDSCAPE ARCHITECTURE · PLANNING

RS&H