



City of Jacksonville, Florida
Renew Arlington CRA

Renew Arlington
Façade and Property Improvement
User Guide

FINAL



City of Jacksonville
Office of Economic Development

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Renew Arlington Façade and Property Improvement
User Guide
FINAL

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Section 1. Purpose and Intent

The purpose of the guidelines contained in this document is to:

- a. Promote the unique characteristics of the Old Arlington overlay area that distinguish it from “Anywhere, USA” while supporting revitalization of the area (**traditional values, new vibe!**);
- b. To develop a façade design manual for existing buildings seeking minor, aesthetic renovations; and to provide standards and criteria by which proposed development in the Renew Arlington CRA will be reviewed for possible grant matching fund awards.

These guidelines are designed to complement the Renew Arlington CRA Zoning Overlay ordinance. Note that the ordinance is the technical and enforceable document; these guidelines are provided to assist creativity and implementation.

Overview

The Old Arlington neighborhood is a peninsula, along the St. Johns River, uniquely characterized by rolling hills and elevated bluffs. Although it is presently within the city of Jacksonville, historically Arlington was culturally and geographically separated from Jacksonville proper. Beginning during the Reconstruction period of the late 19th century, Arlington expanded as a winter home for many when America developed “Florida Fever”. A rising middle class and a completed railway improving travel between northern states and the coastal south fueled a growing desire for the comforts of North Florida’s mild climate. During this time Jacksonville became the “gateway to Florida”, though Arlington experienced proportionately less of this expansion in development. It is believed this was in part due to Arlington’s lack of a direct connection to downtown Jacksonville.

Figure 1. The New ‘Arlington Bridge’



This separation ended in 1953 when the John E. Matthews Bridge (right) was constructed connecting the western side of Arlington to the heart of downtown Jacksonville. In anticipation of the bridge’s construction, Jacksonville University (left), chartered in 1934, began construction of its campus along the St. John’s River in Arlington in 1950. The **predominant mid-century modern style** and **presence of the university** have had a major influence on the neighborhood including the construction of the six-lane University Boulevard in 1961.

Figure 2. Existing Structures at Jacksonville University.
Note use of geometric screen walls, yellow brick, and horizontal lines.



However, for several decades the area of Old Arlington has faced challenges due to “aging populations, flight of the middle class to newer developments, and deteriorating commercial corridors” (Old Arlington Neighborhood Action Plan, 2007). Through the Renew Arlington initiative, the City of Jacksonville formed the Renew Arlington

Community Redevelopment Area which focuses on the major commercial corridors of University Boulevard, Merrill Road and Arlington Road.

The following set of design review guidelines are a focused “façade design manual” for existing buildings seeking minor, aesthetics renovations. Additionally, these guidelines may be used as a guide for future development. This manual shall facilitate the guidance and direction of Arlington’s development in a manner that supports the vision of the Renew Arlington initiatives.

Three Focal Areas

Note that the CRA Advisory Board has designated three focal areas to incentivize and provide immediate guidance. These include:

1. **Signage:** a significant source of blight, the focus is on implementation of pedestrian-scaled monument signs (in lieu of existing tall, pole mounted signs)
2. **Streetfront Landscape + Trees:** There are long stretches along the major vehicular arteries that are primarily concrete/asphalt and lack vegetation or tree canopy. Addition of trees will make a significant improvement into the neighborhood commercial corridor and will extend the canopy around Merrill/University (and JU campus).
3. **Fencing:** removal of excessive fencing and use of fencing for aesthetic purposes.

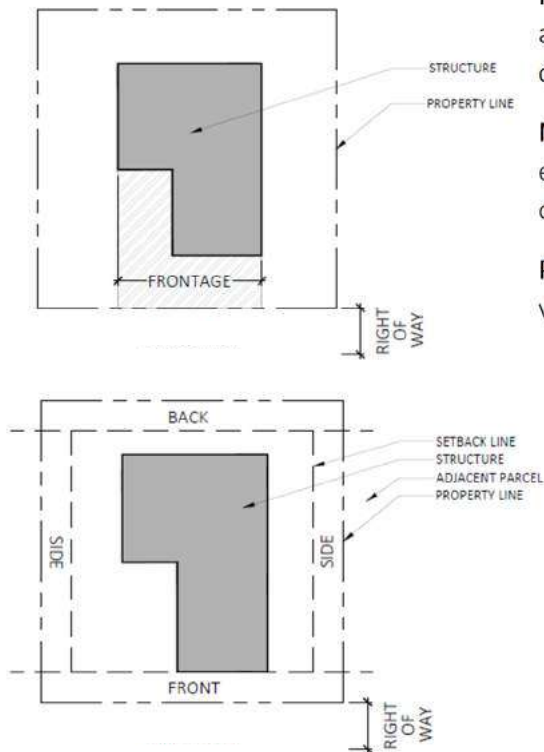


Figure 3. Existing Architectural Detailing

Section 2. Definitions

Awning- a rectangular or curved shelter extending from a building and supported entirely from the exterior wall of a building and composed of non-rigid materials except for supporting framework.

CRA – Renew Arlington Community Redevelopment Area



Frontage- the facade of a building, specifically abutting major vehicular arteries, namely the corridors within Arlington CRA (left).

Materials for Façades - the face of a building, especially the principal front that looks onto a street or side street

Porte-Cochere - a covered entrance large enough for vehicles to pass through

Right of Way (R.O.W.) – publicly owned lands, typically with roadway, sidewalks, etc., which is often immediately adjacent to a property line.

Setback - the horizontal distance between the face of a building (excluding steps and overhangs) and the property line (left).

Sign, Monument - a sign supported by a sign structure secured in the ground and which is wholly independent of any building, fence, vehicle or object other than the sign structure for support (below).



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Section 3. When this User Guide Applies

The Renew Arlington Façade and Property Improvement User Guide primarily apply to making grant applications for renovations / rehabilitations of existing structures and site design located within the Renew Arlington CRA area (see Arlington CRA Map:

<http://www.coj.net/departments/office-of-economic-development/docs/redevelopment-initiatives/arlington-cra.aspx>).

This document is **supplemental to the adopted Renew Arlington zoning overlay**. If conflicts arise, the Renew Arlington zoning overlay shall prevail.

The guidelines are in addition to the requirements of the City's comprehensive plan, zoning, and land development regulations found in the City's code of ordinances.

The following document is designed to help spur design ideas and to guide the selection of projects to receive CRA matching funds (see Section 4).

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Section 4. How To Apply

4.1. Required Materials

All applications shall include the following documentation. Those applications not including the following shall be marked as incomplete and will not be reviewed for grant fund award.

1. **Scaled Site Plan including:**

- a. Property Line
- b. Overhead Power Lines
- c. Location of Underground Utilities and/or Valve Locations

2. **Extents of Area** to be modified (dashed line/hatch or similar)

3. **Location of New Materials / Signage / Trees/Etc.** to be modified (dashed line/hatch or similar) . Marked up/annotated photos are a good way to express the scope

4. **Images of New Material**

See throughout the Document:

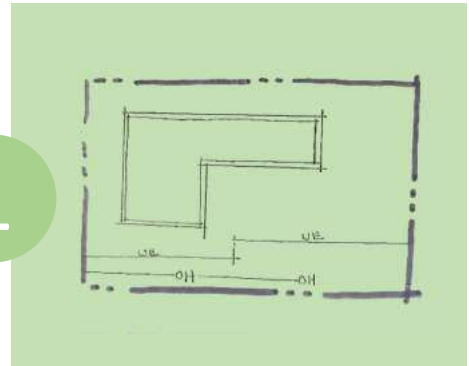
“How To” Guidance

Various tips for applying.

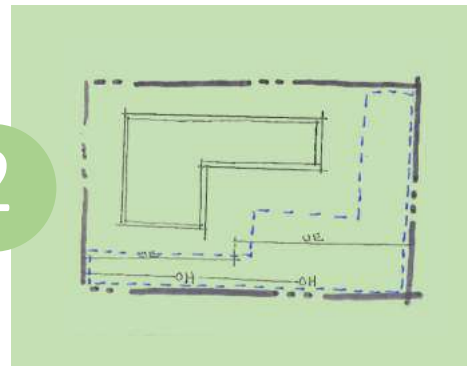
- a. Samples / Pictures of awnings
- b. Color swatches (except for pre-approved)
- c. Plant List

(Provide material samples applicable for changes recommended.)

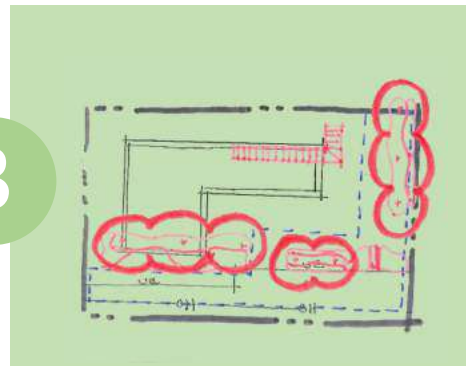
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Section 5. Building Façade, Materials + Colors

Building Façade Introduction

This section contains the general building facade guidelines, approved materials, and color palette for all future construction and renovations or additions to existing structures along the Arlington CRA corridors.

5.1. Design + Materials

Building renovations should highlight the Mid Century Modern style present throughout many of the existing structures along the corridor. These often asymmetrical facades highlight many distinct architectural features.

5.1.1. Architectural Fenestration + Design Elements

Based in the roots of Mid-Century Modern architecture, façade renovations should include:

- **Horizontal emphasis** with asymmetrical façade appearance
- Heavy contrast in materiality and color, often with darker trim colors or bright metals
- **Large windows and openings**
- **Exaggerated horizontal lines**, often exhibited by elements such as cantilevered canopies or awnings
- Heavily contrasting material on all entry spaces

“How To” Guidance

Provide samples to CRA Reviewer to include things such as:

- Awning material and colors
- Siding material and colors

Optionally, also consider:

- Large geometric forms (optional, although rectilinear is important)
- Use of color blocking, especially as an accent on a façade (optional)
- Decorative concrete block screens (optional)

Figure 4. Mid Century Modern Style



5.1.2. Materials for Facades

In general, materials include:

- **Stucco** (smooth-textured)
- **Wood** (not plywood; see below)
- **Metal detailing**, shade louvers, and awnings
- **Brick accents** (yellow brick, similar to Jacksonville University; painted brick; or traditional clay brick)
- **Finished concrete**, including geometric screen walls

“How To” Guidance

Provide samples to CRA Reviewer to include things such as:

- Awning material and colors
- Siding material and colors



More specifically, allowable exterior finishes include:

- Stucco
- Natural Hardwood
- Brick
- Painted Wood Siding,
- Painted Concrete Block
- Mill Finish Aluminum
- Simulated Wood Siding

NOT ALLOWED: Pre-engineered metal buildings, metal siding that is found on pre-engineered metal buildings, plastic panels, and other veneers are **not allowed**, unless a modification is approved by the CRA Advisory Board. (Unfinished wood siding is not allowed; however, natural hardwoods may be left unpainted.)

5.2. Building Colors

Building coloration shall be used to emphasize and delineate architectural elements and entry points. These colors shall be evocative of the business housed within the structure, however they shall not be distracting, disruptive, or infringe upon the surrounding neighborhood architecture.

Color blocking, while recommended, shall follow the **approved color palette in Appendix B**. Colors not included in the palette may be used after receiving board approval (if applying for a grant).

“How To” Guidance



Provide list of colors and locations (example below). Note locations where updated painting will take place.



20-0083 TPM
(Saturated)



564 U
(Saturated)



EXAMPLE of renovation with mid-century modern elements. See Appendix A for more before/after examples.

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Section 6. Site Landscaping

Landscaping Introduction

This section contains the detailed landscaping guidelines for properties throughout the Arlington CRA Corridor area. The quality, installation, mitigation, and maintenance requirements of the zoning overlay shall apply.

Any landscape existing at the time of the effective date of these regulations shall meet the requirements herein within five (5) years of the date of this ordinance, which shall be codified as a date certain.

6.1.1. Plant Materials

In general, site landscaping shall consist of native or naturalized plants that thrive in the Jacksonville climate and environment (see plant list in Section 6.1.4). Plants shall be drought tolerant to encourage the conservation of water. Annuals shall not be used in projects applying for grant matching funds.

6.1.2. Protection of Existing Landscape

Along the corridor, existing oaks and other canopy trees in good health shall be protected when possible.

6.1.3. Streetfront Landscape

When appropriately implemented, streetfront landscape can activate and enhance the pedestrian experience by creating favorable microclimates and visually appealing paths of travel. Proper tree species and placement can block view of blight conditions such as powerlines and pole signs while providing shade. Plantings adjacent to the R.O.W. help to soften hardscape elements and screen parking areas.

The landscape street buffer zone shall be 4' to 5' in width, measured from the R.O.W., dependent on the designated character area within the Arlington CRA. This area shall contain:



EXAMPLE:
Enhanced landscape buffer area. See Appendix A for more before/after examples.

Trees	Shrubs
2 trees per 50' of frontage	15 shrubs per 50' of frontage

Care shall be taken to create large landscape massings, in lieu of annual flower beds. Trees shall be native canopy species and shall be planted near the center of the beds to ensure ample area for root establishment. Those properties with existing power lines present shall use smaller street trees to allow for safe clearance of power lines. Possible street trees may include:

- Crape Myrtle
- Redbuds
- Holly
- Patio Ligustrum



Crape Myrtle



Redbud



Holly



Patio Ligustrum

6.1.4. Plant Material + Location

The following pages include an extensive list of plantings suited to the Jacksonville climate. These plants shall be used in proposed planting beds and buffer areas. Additional plantings not included in this list but proposed in a project must be included in the project application.

Botanical Name

Common Name

Small Trees

<i>Carpinus caroliniana</i>	American Hornbeam
<i>Magnolia macrophylla</i> ssp. <i>ashei</i>	Ashe Magnolia
<i>Cercis canadensis</i>	Eastern Redbud
<i>Prunus umbellata</i>	Flatwoods Plum
<i>Lagerstroemia indica</i> (var. <i>Natchez</i> , <i>Muskogee</i> , or <i>Tuskegee</i>), Standard Or Multi-trunk	Crape Myrtle
<i>Crataegus</i> spp.	Hawthorn
<i>Chionanthus virginicus</i>	Fringe Tree
<i>Magnolia grandiflora</i> ‘Little Gem’	Little Gem Magnolia
<i>Ilex vomitoria</i>	Yaupon Holly
<i>Ligustrum japonicum</i>	Wax-Leaf Ligustrum
<i>Myrica cerifera</i>	Wax Myrtle
<i>Viburnum obovatum</i>	Walters Viburnum

Medium Trees

<i>Ulmus parvifolia</i> ‘Emer I’	Athena Elm
<i>Ulmus parvifolia</i> ‘Bosque’	Bosque Elm
<i>Ulmus parvifolia</i> ‘Drake’	Drake Elm
<i>Ilex cassine</i>	Dahoon Elm
<i>Ilex attenuata</i> ‘Eagleston’	Eagleston Holly
<i>Elaeocarpus decipiens</i>	Japanese Blueberry Tree
<i>Eriobotrya japonica</i>	Loquat
<i>Ilex attenuate</i> ‘East Palatka’	East Palatka Holly
<i>Pinus clausa</i>	Sand Pine
<i>Magnolia virginiana</i>	Sweetbay Magnolia
<i>Juniperus silocilois</i>	Southern Red Cedar
<i>Ostrya virginiana</i>	American Hophornbeam
<i>Betula nigra</i>	River Birch
<i>Ulmus alata</i>	Winged Elm

Large Trees

<i>Ulmus parvifolia</i> ‘Emer II’	Allee Elm
<i>Taxodium distichum</i>	Bald Cypress
<i>Carya</i> sp.	Hickory
<i>Nyssa sylvatica</i>	Blackgum
<i>Catalpa bignonioides</i>	Catalpa
<i>Quercus virginiana</i>	Live Oak
<i>Quercus michauxii</i>	Swamp Chestnut Oak
<i>Quercus lyrata</i>	Overcup Oak

“How To” Guidance



Highlight or check plants on this list that are proposed. Show general proposed area for each plant on site plan. Additional plantings not included in this list must be included and noted on the proposed site plan and in the blanks below this list.

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Quercus laurifolia	Laurel Oak
Quercus nuttallii	Nuttall Oak
Quercus shumardii	Shumard Oak
Diospyros virginiana	Persimmon
Acer rubrum	Red Maple
Gordonia lasianthus	Loblolly Bay
Curpressocyparis leylandii	Leyland Cypress
Pinus elliottii	Slash Pine
Pinus palustris	Long Leaf Pine
Magnolia grandiflora	Southern Magnolia
Liquidambar straciflua	Sweetgum
Planatus occidentalis	Sycamore
Liriodendron tulipifera	Tulip Poplar
Salix babylonica or alba	Weeping Willow

Palms

<i>Washingtonia robusta</i>	Washington Palm
<i>Sabal palmetto</i>	Cabbage Palm
<i>Livistona decipiens</i>	Ribbon Palm

Botanical Name *Common Name*

Hedges*, Shrubs*, Cycads and Palms

(*To be used as hedge or screen for parking lots.)

<i>Abelia grandiflora*</i>	Abelia
<i>Camellia japonica</i>	Camellia
<i>Camellia sasanqua</i>	Sasanqua Camellia
<i>Cassia spp.</i>	Cassia
<i>Cortaderia selloana</i>	Pampas Grass
<i>Crinum spp.</i>	Crinum Lily
<i>Eleagnus pungens*</i>	Silverthorn
<i>Eragrostis spectabilis</i>	Purple Lovegrass
<i>Feijoa sellowiana*</i>	Feijoa
<i>Galphimia (or Thryallis) glauca</i>	Thryallis
<i>Gardenia jasminoides</i>	Gardenia
<i>Hibiscus spp.</i>	Hibiscus
<i>Ilex cassine</i>	Dahoon Holly
<i>Ilex cornuta*</i>	Chinese Holly
<i>Ilex cornuta* "Burfordi"</i>	Burford Holly
<i>Ilex crenata</i>	Japanese Holly
<i>Ilex vomitoria "nana"</i>	Dwarf Yaupon Holly
<i>Illicium anisatum*</i>	Star Anise
<i>Illicium parviflorum*</i>	Yellow Anise
<i>Juniperus chinensis*</i>	Chinese Juniper
<i>Juniperus spp.</i>	Junipers
<i>Lantana camara</i>	Lantana
<i>Ligustrum japonicum*</i>	Japanese Privet
<i>Magnolia grandiflora 'Little Gem'</i>	Little Gem Magnolia
<i>Muhlenbergia capillaris</i>	Muhly Grass
<i>Nandina domestica</i>	Heavenly Bamboo
<i>Nerium oleander</i>	Oleander
<i>Philodendron selloum</i>	Split Leaf Philodendron
<i>Photinia fraseri</i>	Fraser's Photinia
<i>Pittosporum tobira*</i>	Pittosporum
<i>Plumbago auriculata</i>	Plumbago

<i>Podocarpus macrophyllus*</i>	Podocarpus
<i>Pyracantha coccinea</i>	Firethorn Pyracantha
<i>Raphiolepis indica</i>	Indian Hawthorn
<i>Rhapidothylum hystrix</i>	Needle Palm
<i>Rhododendron indica*</i>	Indica Azaleas
<i>Rhododendron obtusum</i>	Dwarf Azaleas
<i>Rhododendron kurume</i>	Kurume Azaleas
<i>Serenoa repens</i>	Saw Palmetto
<i>Spartina spp.</i>	Cordgrass
<i>Thuja occidentalis</i>	American Arborvitae
<i>Viburnum odoratissimum*</i>	Sweet Viburnum
<i>Viburnum suspensum*</i>	Sandankwa Viburnum
<i>Viburnum Tinus</i>	Laurustikus Viburnum
<i>Yucca elephantipes</i>	Spineless Yucca
<i>Yucca smalliana</i>	Bear Grass
<i>Zamia floridana</i>	Coontie
<i>Zamia furfuracea</i>	Cardboard Plant

Groundcovers

<i>Aspidistra elatior</i>	Cast Iron Plant
<i>Catharanthus roseus</i>	Periwinkle, Vinca
<i>Cyrtomium falcatum</i>	Holly Fern
<i>Dietes iridioides</i>	African Iris
<i>Ficus pumila</i>	Creeping Fig
<i>Gaillardia pulchella</i>	Gaillardia
<i>Gelsemi sempervirens</i>	Carolina Jessamine
<i>Gerbera jamesonii</i>	Gerbera Daisy
<i>Hedera canariensis</i>	Algerian Ivy
<i>Hedera helix</i>	English Ivy
<i>Hemerocallis spp.</i>	Day Lilly
<i>Helianthus debilis</i>	Beach Sunflower
<i>Ipomoea stolonifera</i>	Beach Morning Glory
<i>Iris virginica</i>	Blue Flag
<i>Lantana depressa</i>	Yellow Pineland Lantana
<i>Lantana montevidensis</i>	Weeping Lantana
<i>Liriope spp.</i>	Lilly Turf
<i>Lonicera japonica "Halliana"</i>	Hall's Honeysuckle
<i>Nandina domestica "nana"</i>	Dwarf Heavenly
<i>Nephrolepis exaltata</i>	Sword or Boston Fern
<i>Ophiopogon japonicus</i>	Mondo Grass
<i>Pittosporum tobira "nana"</i>	Dwarf Pittosporum
<i>Rudbeckia hirta</i>	Black Eyed Susan
<i>Trachelospermum asiaticum</i>	Confederate Jasmine
<i>Trachelospermum jasminoides</i>	Star Jasmine
<i>Tulbaghia violacea</i>	Society Garlic
<i>Vinca major</i>	Bigleaf Periwinkle
<i>Zamia floridana</i>	Coontie

Botanical Name

Common Name

Vines

<i>Clematis dioscoreifolia</i>	Japanese Clematis
<i>Clematis virginiana</i>	Sweet Autumn Clematis
<i>Glesmium sempervirens</i>	Carolina Jasmine
<i>Hedera canariensis</i>	Algerian Ivy
<i>Hedera helix</i>	English Ivy
<i>Ipomeoa stolonifera</i>	Beach Morning Glory
<i>Jasminum multiflorum</i>	Downy Jasmine

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<i>Jasminum sambac</i>	Arbian Jasmine
<i>Lonicera japonica "halliana"</i>	Hall's Honeysuckle
<i>Lonicera sempervirens</i>	Coral Honeysuckle
<i>Parthenocissus quinquefolia</i>	Virginia Creeper
<i>Trachelospermum asiaticum</i>	Confederate Jasmine
<i>Trachelospermum jasminoides</i>	Star Jasmine
<i>Wisteria sinensis</i>	Chinese Wisteria

Turfgrass

Bahia Grass Bermuda Grass Centipede Grass
St. Augustine Grass
Zoysia Grass

Plants Not Listed

All native plantings as defined by UF/IFAS or USDA to northeast Florida may be used in addition to this list.

All plantings defined as "Florida Friendly" and suited to northeast Florida's climate by UF/IFAS may also be used.

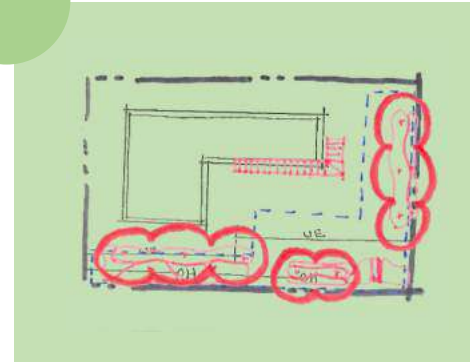
Refer to the Florida-Friendly Landscape website for more assistance: <http://fyn.ifas.ufl.edu/>

6.1.5. Landscape Location

All required trees' rootballs must be planted within the streetscape buffer area to provide for potential future JEA easement. Additional trees may be planted elsewhere on the site, however no trees may be planted in the area 10' to 15' from the R.O.W.

Additional shrubs, perennials, and annuals may be planted outside of the street buffer zone, including immediately beyond the zone, surrounding the building perimeter, and throughout the parking areas. C.O.J. V.U.A. requirements must be met as well.

If possible, parking shall be reoriented for better efficiency of space usage to create additional areas for landscape islands, café dining areas, and pedestrian gathering spaces.



EXAMPLE:
Pedestrian gathering/dining spaces within existing parking area. See Appendix A for more before/after examples.

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Section 7. Site Signage

Signage Introduction

Signage has become a major source of visual clutter along the corridors. While signage should be unique and specific to the character of the business it represents, signage characteristics can help create a cohesive, welcoming, and aesthetically pleasing experience for motorists and pedestrians alike. The following pages detail the acceptable dimensions and materiality of approved signage along the corridors.

Any signage existing at the time of the effective date of these regulations shall meet the requirements herein within five (5) years of the date of this ordinance, which shall be codified as a date certain.

7.1.1. Signage Design

Figure 5. Monument Style Signs



All signs within the CRA shall be monument style signs (see below for existing examples). These signs are characterized by a low, pedestrian level height, diverse materiality, pops of color, and landscaping to soften the pedestal of the sign.

No more than three (3) visible materials may be used on the monument sign. The two examples above use three materials or finishes (1: stone, granite, granite with gold coating, 2: teal coated sign, grey/silver lettering, finished concrete base. Material should extend building appearance and material choices when possible. (Submit photo of building with sign application.)

Landscaping, to include native shrub massings and other plantings, are encouraged at the base of all signs located along the corridor. Shrubs planted at the base of the sign cannot help satisfy shrub planting requirements set forth in Section 6. Annuals, while permissible around the sign, are not recommended. Shrubs around the sign base shall be selected not to exceed three feet (3') at maturity.

Interior lit box signs and animated signs shall be prohibited on all properties located within the corridor. Changeable lettering is acceptable, however it must be placed above the shrub line. Street address number must be visible on the sign. Street name is not required but recommended.



Example of monument style signage extending building appearance

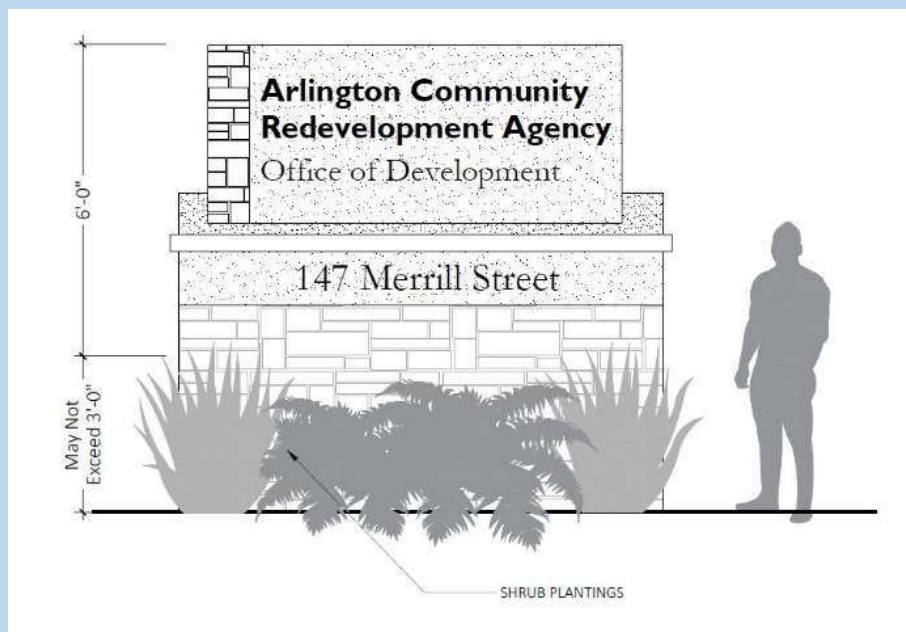
7.1.2. Signage Height

Signs shall be built at the pedestrian scale, no less than 10' from the street R.O.W. (per Zoning). Signs may not be taller than 6', measured from the height of the shrubs at the time of planting (see diagram below). This may not exceed 9' under any circumstance. No directional signage or text shall be placed under the shrub line.

“How To” Guidance

Include elevation drawing of any new sign. Renovated existing signs may be shown through a sketch drawing over an existing photograph of the existing sign.

Figure 6. Sign Heights





EXAMPLE: *Signage materials and landscape plantings. See Appendix A for more before/after examples.*

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Section 8. Site Fencing

Fencing Introduction

Fencing shall be used to help screen any unsightly elements and equipment visible from street right of ways. This fencing shall not visually impede on the surrounding properties. All fencing shall be subject to the following regulations.

Any fencing existing at the time of the effective date of these regulations shall meet the requirements herein within five (5) years of the date of this ordinance, which shall be codified as a date certain.

8.1.1. Fencing Materials

- i. The use of barbed, razor or concertina wire or similar fencing shall be prohibited where visible from any public right-of-way or sidewalk.
- ii. Woven metal fences are prohibited.
- iii. Chain link fencing along the right of way shall be prohibited. Chain link fence may be used on the side (if not on a corner lot) and rear property lines, and shall be vinyl coated in black or green color (Chain link fencing shall not be used on projects applying for grant funds).
- iv. Fencing along the right of way shall be composed of wood, stone, brick, masonry, cast stone, vinyl or metal (in a wrought iron style).

Concrete, geometric screening walls (at right), are acceptable, however they must be attached to the building structure, and cannot exceed 50' in length.

Fence detailing, whether wooden, aluminum, or concrete, shall be simple and complement the building façade's architecture. Ornate detailing or scrollwork shall not be permissible.

Fencing shall not exceed 6' in height.

"How To" Guidance



Location and length of fencing must be drawn on the proposed site plan.

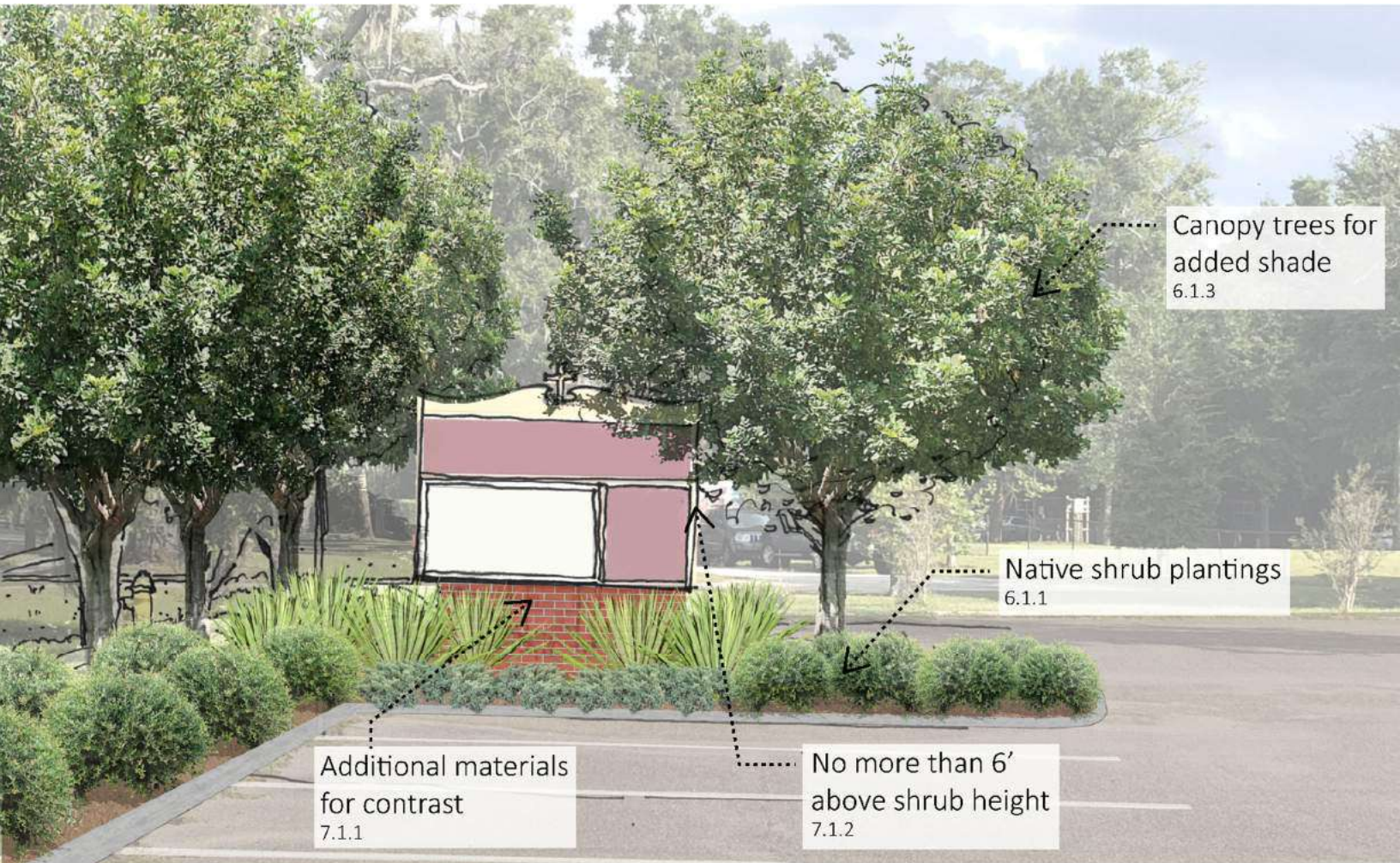
(Provide sample of material)

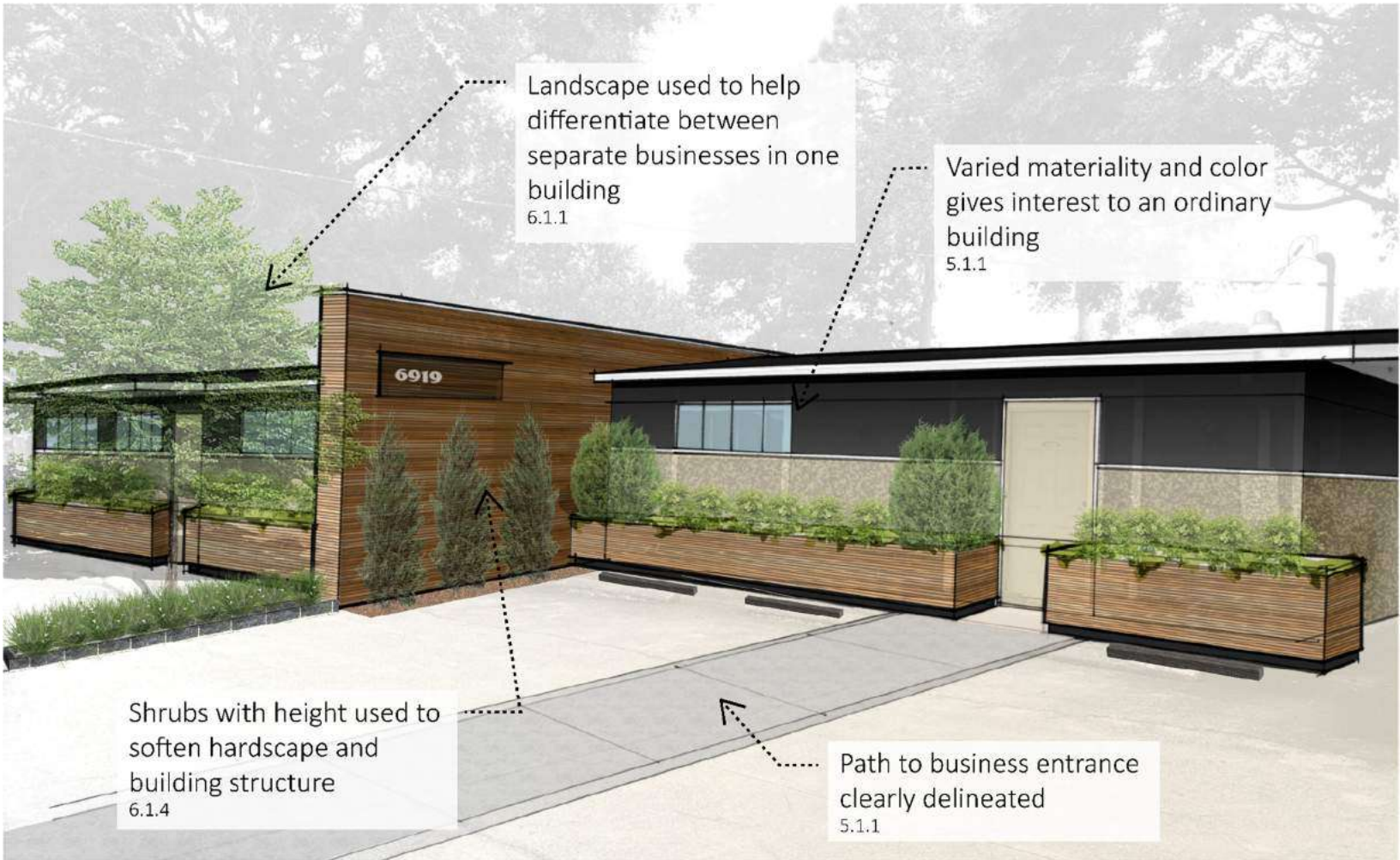
Figure 7. Geometric Screening Walls



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Section 9. Appendix A – Before and After Examples







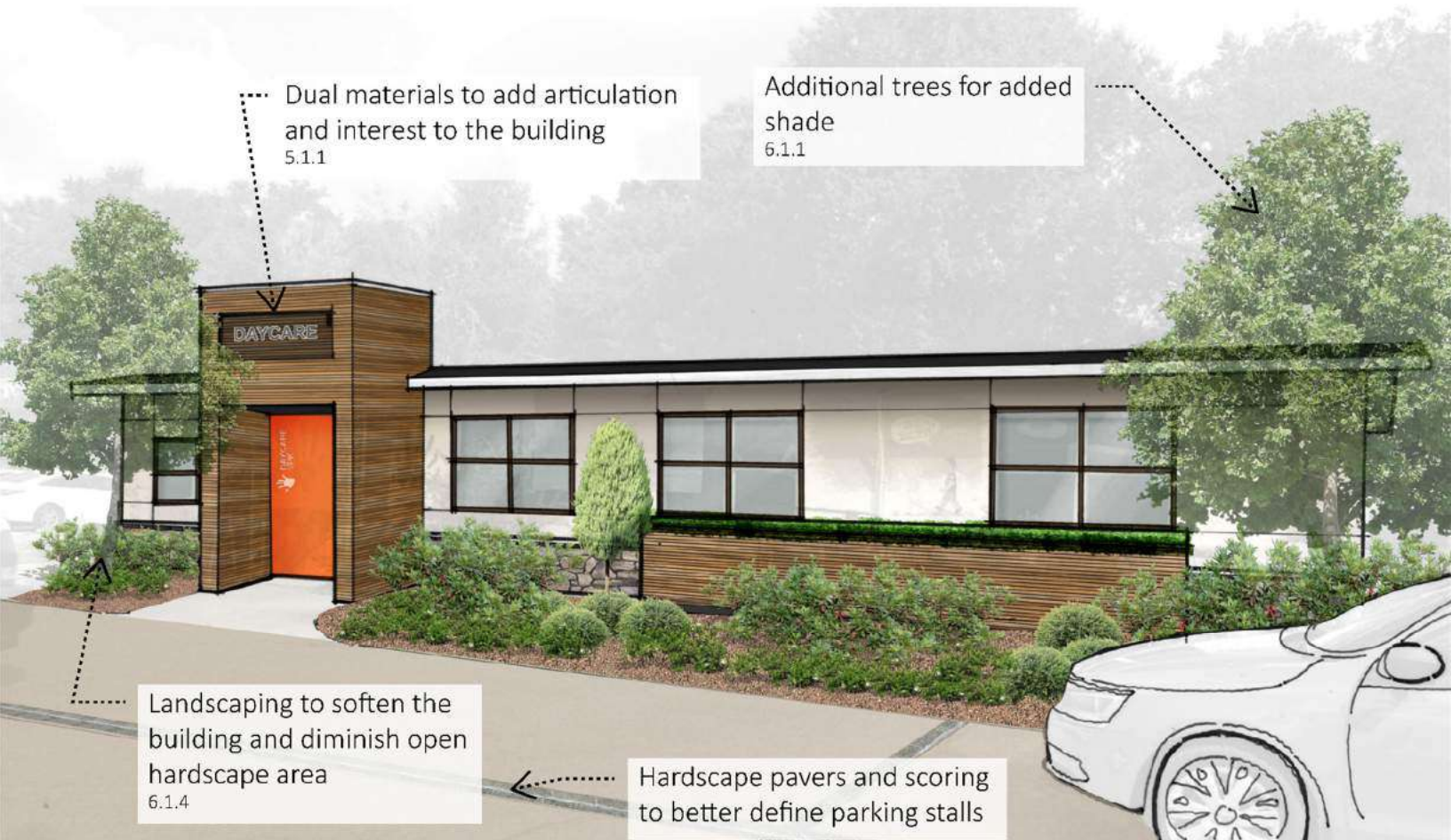
Reorientation of parking to allow for pedestrian seating
6.1.4

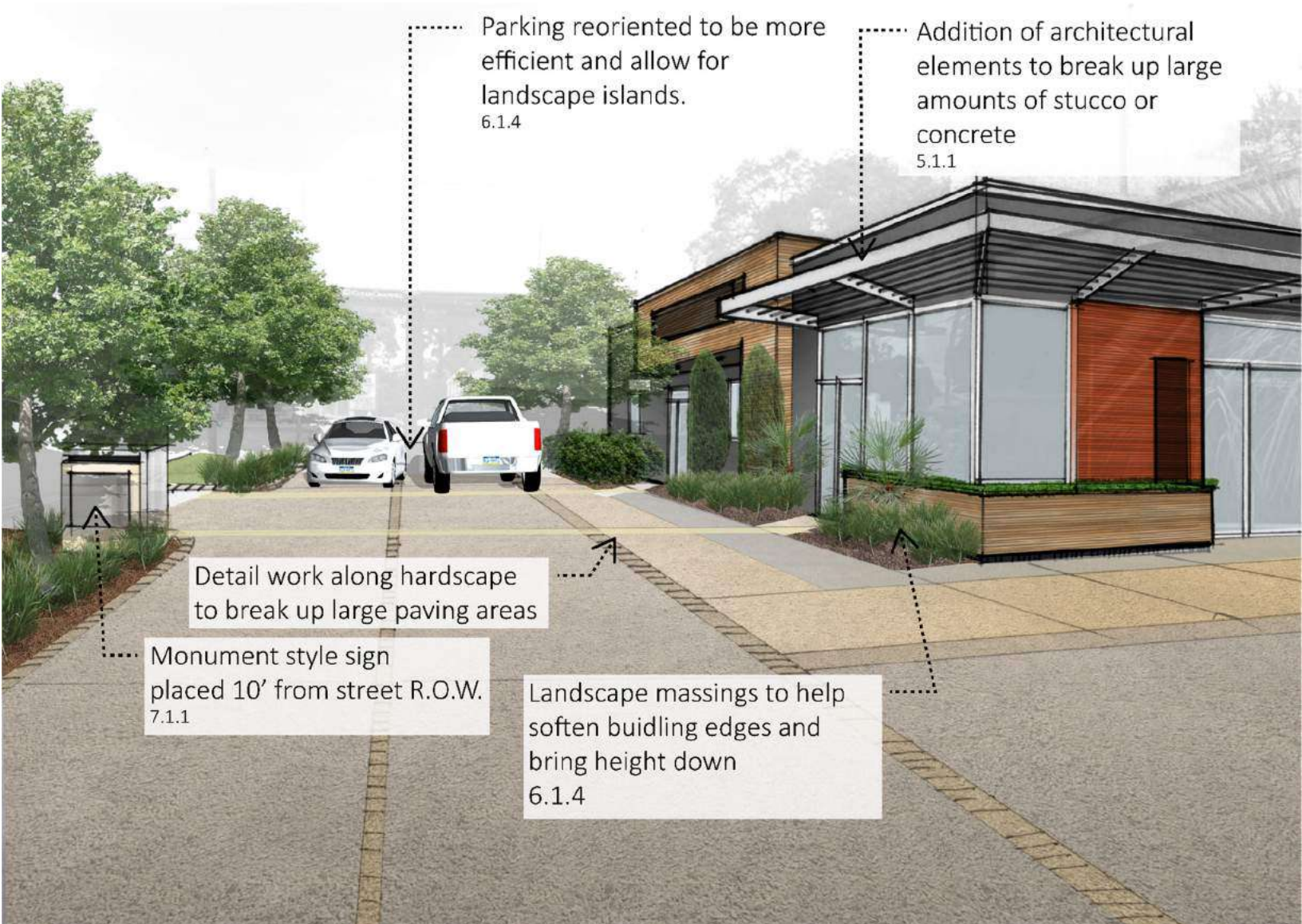
Planting and hardscape used as wheel stops and barricades

Landscape comprised of shade trees, native shrubs, and low maintenance plantings
6.1.1

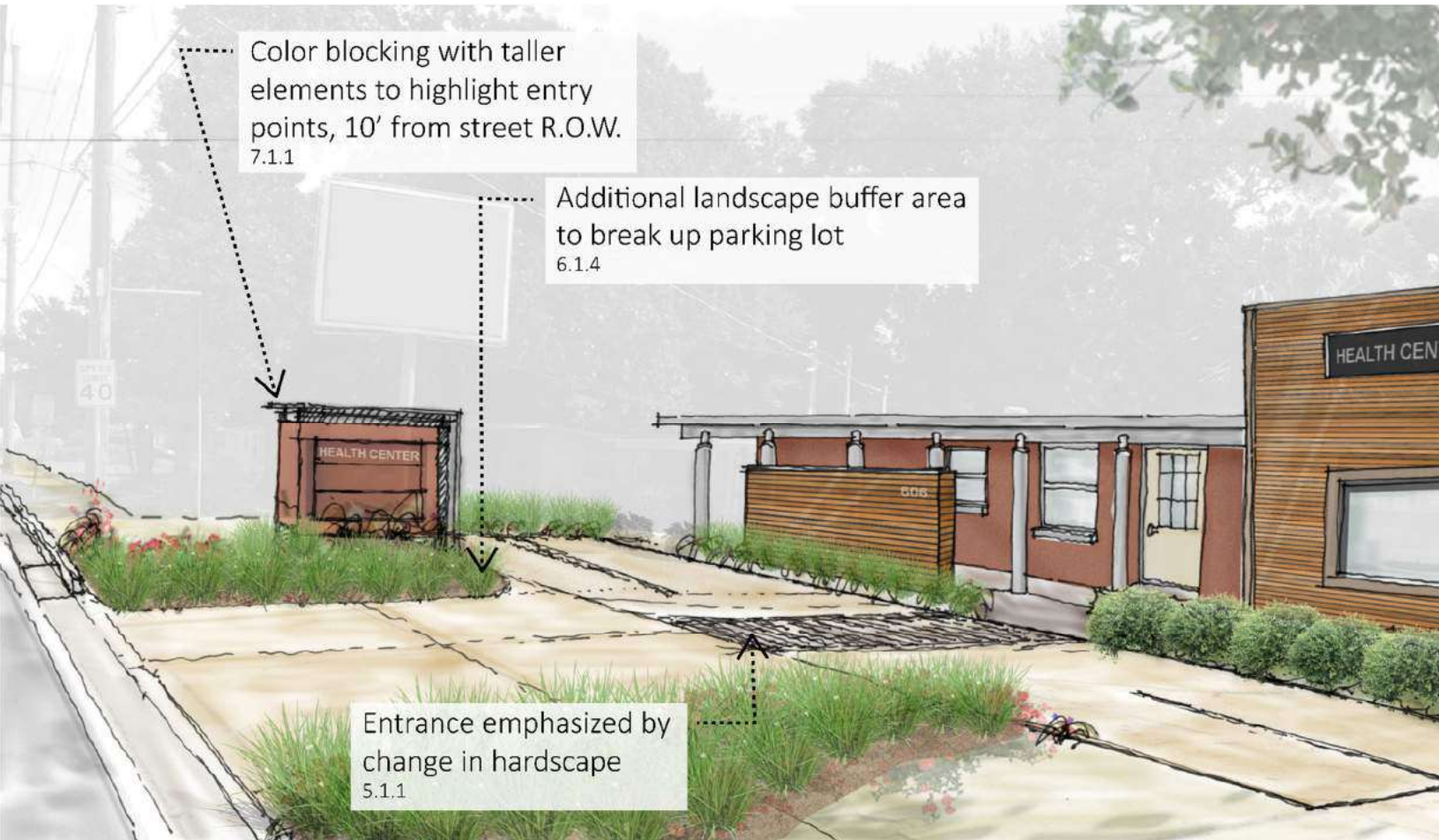
Delineated parking with pervious pavers

Bold color accents to highlight entrance spaces
5.1.1











Section 10. Appendix B – Color Palette

NOTE: Colors may be increased or decreased in saturation 10% from color sample. The colors below and on the next page are **Pantone** colors accompanied by their Pantone color code. This ensures exact adherence to an approved color.



The Bauhaus inspired modern movement and streamlined design were making an impact. Interior colors of the time were soft and dusty with creamy yellows, blued grays, soft pinks and accents in deep forest green and burgundy.



P 177 – 15 C



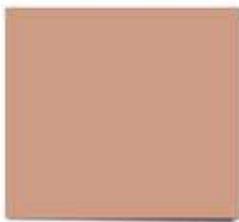
7537 CP



155 C



13 – 5305 TCX



15 – 1322 TPG



P – 56 - 1 C



P 67 – 3 C

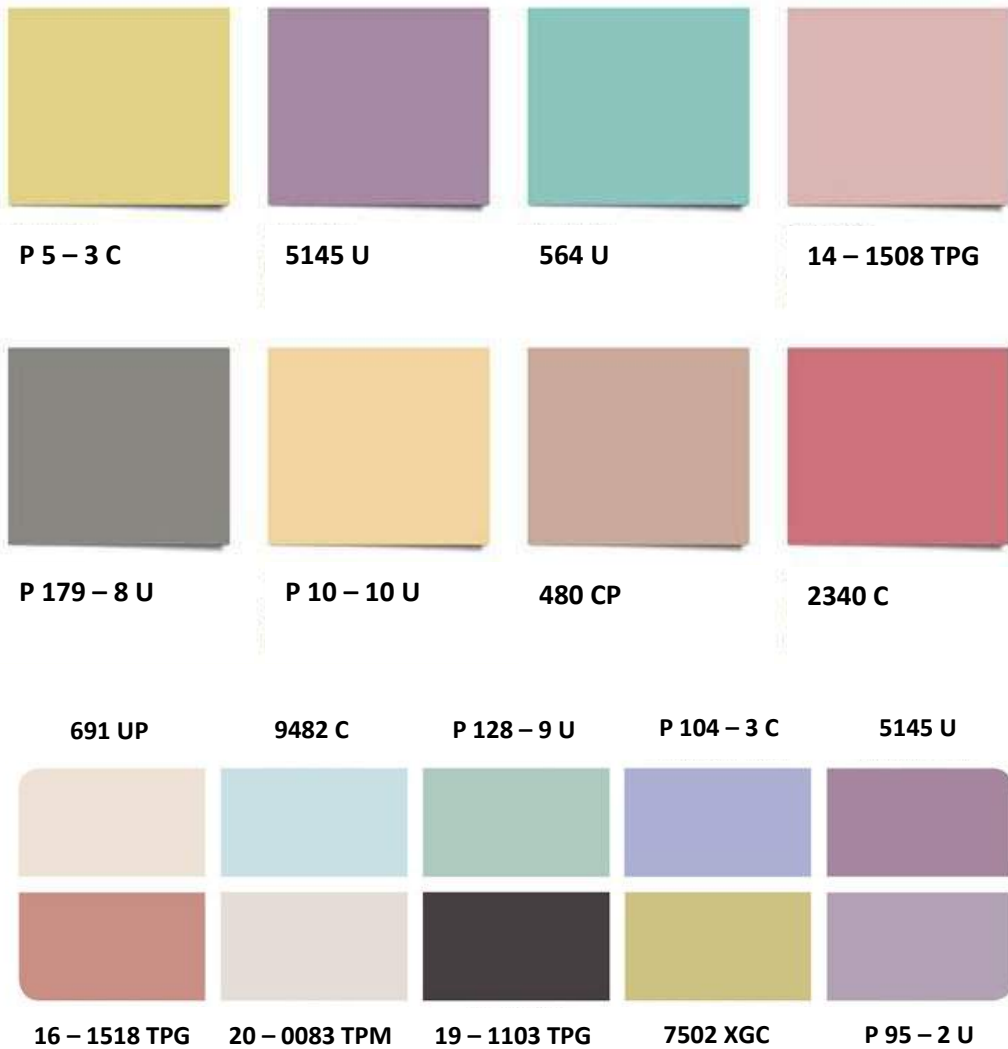


19 – 1528 TPG

Color context images above by others.



The exuberant post war boom was a mix of styles with mid-century modern and Scandinavian influences making the most impact. Pastels are the norm with pink and turquoise appliances adorning the kitchen and laundry room. Lilac and Chartreuse are very popular.



Color context images above by others.