

Anastasia Boulevard  
Design Standards for Entry Corridors Update

**Draft v4**

March 9, 2017

**DRAFT**



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**CITY OF**  
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EST. 1685



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## Executive Summary + Methodology Overview

Anastasia Boulevard (SRA1A) is the main commercial spine between the Bridge of Lions and St. Augustine Beach. Originally platted in the mid-1920s as part of the Davis Shores neighborhood, the Boulevard primarily developed in the 1940s through 1960s with a low, horizontal, vehicle-centric development pattern. The character of the development along the boulevard is unique and contributes to the character of Anastasia Island, Davis Shores, Lighthouse Park, and the overall City of St. Augustine.

The architecture and character of development along Anastasia Boulevard reflect a post-WWII era when families had access to the automobile and started traveling the country, in many cases looking for a beach destination. Motels lined up the highways offering direct access to the rooms from the parking lots. During this time, building architecture and materials became simpler, construction became more industrialized (with less detail), and signs became bigger and flashier to be seen by passing automobile traffic.

In 2001, the City of St. Augustine identified San Marco Avenue, King Street and Anastasia Boulevard as critical gateways into the City. Design Guidelines for new construction and redevelopment were adopted for the three entry corridors. In 2016, the City Commission identified Anastasia Boulevard as having a different character than the more historic entryways and determined that a separate set of development standards were needed for this area. This document contains the development standards for Anastasia Boulevard. The standards were developed to provide clear, user-friendly regulations to facilitate new development, redevelopment and infill, while celebrating and promoting the uniqueness of the Anastasia Boulevard.

The applicability of the standards is defined in Section 3.

### Inventory + Analysis Takeaways

Based on extensive analysis of the architecture and development of the corridor, the following “takeaways,” identified in the *Inventory and Analysis* document (dated October 26, 2016; available at the City of St. Augustine), guide the standards:

- The commercial properties lining up the boulevard function as a **buffer between the roadway and the residential neighborhoods**.
- The corridor has a strong presence of “neighborhood commercial” uses serving the area residents, in addition to the tourist/roadside uses serving visitors.
- Over **half of the buildings (55%) along the boulevard were constructed in the 1940s and 1950s**.
- The **predominant architectural styles** along the corridor include **Mid-Century Modern** and **Masonry Vernacular**.
- **What is not desired may be just as, if not more, important.** Specifically, faux ‘historic downtown’ re-creations are not appropriate.
- The **tree canopy transitions** from palms and sparse tree coverage north / west of Comares Avenue. As the roadway turns south, much more of the coastal oak hammock defines the corridor.

### Design Standards for Entry Corridors

#### Executive Summary

St. Augustine is known as America’s oldest city. Since its establishment in 1565 it has grown from a small cluster of buildings and structures developed by the Spanish to a very habitable, contemporary, moderate sized city.

The walled city has a very distinguishable visual character composed of small scale, generally single and multiple story buildings, lining narrow lanes. This is unique, not only to St. Augustine but also to the United States.

The importance of this defining character was determined approximately in 1984 with the establishment of historic districts and the Architectural Guidelines for Historic Preservation. These districts protect the unique architectural and landscape architectural features of the city.

The Historic Architectural Review Board (HARB), city planning and other city departments have worked hard to guide new development, redevelopment and additions in a manner which is consistent with the protection of this unique resource. The successes of all parties are evident through the growth of historic tourism and the economic successes of businesses within the district and the community.

These successes have, in turn, placed great pressure on the district and outlying areas, specifically the entry corridors to the downtown historic district. Additional development pressure has caused spin-off development, which is not considered sympathetic to this significant historical architectural resource.

To enhance the total visitor experience and provide for continuing economic development opportunities, the city, supported by neighborhood businesses, residents and elected officials, has elected to expand architectural standards in ordinance from to these entry corridors, including: San Marco Avenue, King Street and Anastasia Boulevard. The city has unique characteristics that distinguish it from “anywhere USA”. Large corporations commonly use a building architecture and design that are symbolic to their corporations but not to the characteristics of St. Augustine.

These standards are intended to guide public and private development activities in a coordinated manner. They address open-space/streetscape development as well as private building and site appearances. Attention to regulate design character generally encourages economic development. In these corridors it is hoped to produce similar results to those experienced after the creation of the downtown historic districts.



- **Parking spaces directly accessed from the street** are common along the boulevard. **Off street parking** with access from internal driveways, is **more desired** as it is safer and helps **better define pedestrian and vehicle zones**.
- **Anastasia Boulevard** would benefit from streetscape and mobility improvements, but the focus of these Standards is on *private* properties.

#### Public Participation Takeaways

A dynamic public participation program obtained feedback from residents, property owners, business owners, the Historic Architectural Review Board (HARB), and the Planning and Zoning Board (PZB). Takeaways from these meetings include the following:

A desire for a more expressive, **welcoming environment**

More emphasis being placed on **pedestrian-friendly** solutions along the boulevard

Lower, more **horizontal** buildings

More **landscape space** to soften and shade the thoroughfare and accompanying sidewalk

A desire for an environment completely **unique and different from Downtown St. Augustine**

**Vibrant, active spaces** that reflect the **surrounding community** and neighborhoods

Possibility of incorporating **art along Anastasia Boulevard**

#### Living Document

As with all master plans, design guidelines, and design standards, it is recommended that the *Anastasia Boulevard Design Standards* be approached as an evolving document with updates considered every 5 to 10 years. In the same way that the City of St. Augustine is a “living city”, the standards are a “living document.”



## Section 1. Purpose and Intent

The purpose of the standards contained in this document is to:

- Promote the unique characteristics of the Anastasia Boulevard overlay area, which features many of the characteristic of mid-century American architecture;
- To facilitate the development of vacant land and the redevelopment of underutilized properties in this area into a high-quality, multi-modal mixed-use environment;
- To provide standards and criteria by which proposed development in the area will be reviewed.

### 1.1. Historic Background

Davis Shores, located just north of Anastasia Boulevard, was originally designed as an extravagant planned community. Davis Shores, originally platted in 1925, during the real estate boom in Florida, was to include luxury hotels, a yacht club and marina, and two 18-hole golf courses. Due to a major economic bust, the majority of development was put on hold until the 1950s. The original gridded layout of the subdivision, which follows the undulating forms of the island's coastline, is still evident today.

Pedestrian and vehicular connectivity is achieved by limiting the size of blocks. The Anastasia Boulevard overlay area generally displays a gridded network, which shall be maintained and improved. If existing streets or alleys are vacated to allow the aggregation of smaller blocks into mega-blocks, alternative vehicular and pedestrian connections shall be provided.

Figure 1. Davis Shores Early Construction

Available on Google Images



### 1.0. Design Standards Intent, Purpose and Scope

Design standards are used to review, direct and regulate site improvements, rehabilitation, maintenance, new construction and demolition in the architectural review districts. Their purpose is to protect and preserve the continuum of architectural heritage and in turn enhance the overall visual character. The city has unique characteristics that distinguish it from "anywhere USA." Large corporations commonly use a building architecture and design that are symbolic to their corporations but not to the characteristics of St. Augustine. The city establishes an ordinance regulating design standards for these corridors including King Street, San Marco Avenue and Anastasia Boulevard.

These standards, based on current laws, are considered to be an enhancement of, and supplementary to, existing comprehensive planning and zoning requirements maintained by the city planning and building department. The city planning and zoning regulations generally direct permitted land uses, lot dimensions, area, lot coverage building size, height, required yards (setbacks), parking lot landscaping, outdoor displays of merchandise signs, building codes and environmental protection.

Administration of these standards is assigned to the architectural review official (ARO) as indicated in section 4.1 of this text. These standards are intended to assist property owners, developers and the city by identifying appropriate and compatible options for rehabilitation and new construction. Violations of standards shall be subject to code enforcement procedures previously established by the city. Where discrepancies exist between this document and other city codes, this document shall prevail.

### 1.1 Introductory Remarks

The intent is to create a more uniform and visually appealing design in public and private improvements.

In anticipation of the development of standards, the city undertook the preparation of a data collection report to identify unique physical characteristics, issues and opportunities that effected the preparation of these standards (see Appendix A).

Differing types of activities have predicated the necessity to categorize the standards in a specific manner. Permissible activities affecting the visual character of the area have, therefore, been divided into identifiable and useable sections. These sections are: right-of-way design standards, site development design standards, rehabilitation/additions/renovations/ demolitions, new building and site construction design standards, signs, plan review and permitting and enforcement. Each shall be discussed in further detail in the following text.



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## Section 2. Definitions

**Architecturally Integrated Sign** - a sign that is designed to be an integral part of the building and inspired by the art deco and 1950s signs



**Awning** - a rectangular or curved shelter extending from a building and supported entirely from the exterior wall of a building and composed of non-rigid materials except for supporting framework.



**Awning Sign** – a sign that is painted, silk-screened, stitched on, imprinted on or otherwise applied directly onto the fabric of the awning.





**Canopy** - a structure constructed of rigid materials including, but not limited to metal, wood, concrete, plastic or glass, which is attached to and supported by a building or by columns, poles or braces extended to the ground.



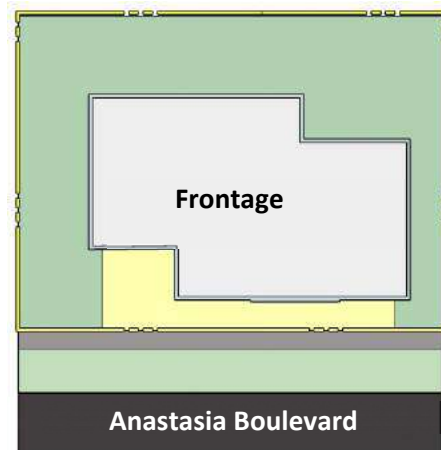
**Canopy sign** - a sign which is suspended from, attached to, supported from or forms a part of a canopy.  
[FROM CITY CODE]



**Corridor Review Committee**- development review board as designated by the City Commission

**Freestanding Sign** - a sign supported by a sign structure secured in the ground and which is wholly independent of any building, fence, vehicle or object other than the sign structure for support.

**Frontage**- the facade of a building, specifically abutting Anastasia Boulevard.



**Full Cut Off** - a lighting fixture from which none of its lamp's intensity is emitted at or above a horizontal plane drawn through the bottom of the fixture and no more than ten percent of the lamp's intensity is emitted between eighty (80) degrees and that horizontal plane.





**Hanging Sign** - a sign that is placed under a canopy, awning or arcade, perpendicular to the building façade, and not intended to be seen by motorists.



**Mural** - a painting or artistic work composed of images or arrangements of color that displays, as opposed to a -written message, and relies solely on the side of the building for rigid structural support.

**Pole Sign** – a sign affixed to the ground and supported by poles, uprights, or braces extending from the ground but not attached to any part of any building.





**Porte-Cochere** - a covered entrance large enough for vehicles to pass through

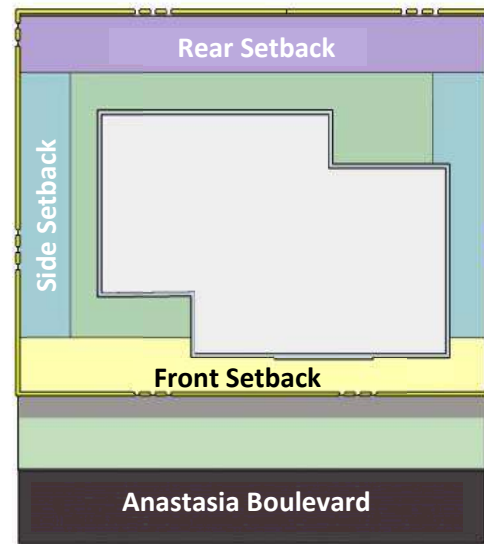


**Projecting Sign (Bracket Sign)** – a sign which is affixed and displayed perpendicular to any building wall or structure.



**Setback** - the horizontal distance between the face of a building (excluding steps and overhangs) and the street right-of-way line.





**Street Setback Zone** - the zone created by the front and side street setbacks.

**Wall Sign** – a sign that is attached flat to a building wall.



**Window Sign** – a permanent sign affixed to, or painted on either face of a window or glass door that leads to the exterior of the building. Signs suspended within three (3) feet behind the glass are also deemed window signs.





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## Section 3. When the Anastasia Boulevard Development Standards Apply

The Anastasia Boulevard Design Standards shall apply to new development and redevelopment on sites abutting Anastasia Boulevard between the Bridge of Lions and Casanova Road (see Figure 2). The following subsections specify the level of compliance required based on the development activity proposed.

The standards supplement the requirements of the City's land development regulations. When in conflict, the Anastasia Boulevard Development Standards shall supersede the land development regulations.

- a. **New Construction.** All new development along Anastasia Boulevard, including new buildings or structures on vacant or already developed sites, shall comply with all the regulations contained in this document.
- b. **Substantial Expansion or Redevelopment of Existing Buildings.**
  - 1) Full compliance. An entire development site shall be brought into *full* compliance with this section if the redevelopment constitutes a substantial improvement (value of the proposed improvements constitutes fifty (50) percent or more of the assessed value of the building or facility).
  - 2) Exceptions. The following shall be the only exceptions to full code compliance for substantial expansion or redevelopment:
    - i. Building setback. Existing buildings will not be required to be moved or expanded to meet the setback requirements. However, building additions shall meet the required setback. All *new* buildings within the redevelopment site shall be required to meet the building setback provisions.
    - ii. Building frontage. Existing buildings shall not be required to meet the minimum building frontage requirement. However, new buildings and additions shall be required to comply with the frontage requirements.
    - iii. Driveways and Parking. See Section 5.4.2 for allowed exceptions to existing driveways and parking facilities.
  - 3) Other LDC Provisions. Compliance with parking, landscaping, screening and all other regulations stated in the land development regulations and not addressed in this document shall be addressed as required by the land development regulations.
- c. **Non-Substantial Additions or Redevelopment of Existing Buildings:** For proposed building additions or redevelopment not meeting the criteria of Subsection b.1, above, only the new additions or exterior building modifications shall comply with the regulations contained in this document. The remainder of the building and the site shall not be required to meet the standards.
- d. **Cumulative Improvements.** To avoid a situation where incremental improvements result in a substantial redevelopment subject to full code compliance, the improvements listed in Subsection b and c shall include all such improvements made within a 5 year period.

### Sec. 28-353. - Design standards for entry corridors.

The Design Standards for Entry Corridors, Guidelines for Public and Private Improvements, as prepared by Herbert-Halback, Inc. and dated January 24, 2000, as subsequently amended ("DSEC standards"), are hereby adopted and incorporated herein by reference. All new construction and site development within the entry corridors, excluding work within right-of-way, shall conform to these standards unless a variance is granted pursuant to the criteria enumerated in the DSEC standards. Any change in the use of a parcel of property shall require that the site, excluding buildings and facilities, be developed to conform to these standards, unless technically infeasible. Each element or space of a building or facility that is altered shall comply with these standards, unless technically infeasible. When an alteration to a building or facility that incorporates exterior renovation constitutes fifty (50) percent or more of the assessed value of the building or facility, the entire building or facility shall be made to conform to these standards.

(Ord. No. 03-06, § 1, 2-10-03; Ord. No. 13-05, § 1(a), 2-1-13; Ord. No. 14-20, § 1, 11-10-14)

### 3.2 Building Restoration/Renovation/Rehabilitation/Reuse, Addition and Demolition

Prior to construction one shall refer to the urban typology map on page 18 to establish the category. After establishing typology, please refer to applicable standards identified in the following text.

Much building permit activity is focused around rehabilitation, additions, renovations and demolitions. Specific guideline recommendations are identified below.

#### 3.2.1 Site Disturbance

In all cases where there is the potential of site disturbance, the city of St. Augustine shall be contacted prior to that activity. This is already required under existing city ordinances and is intended to protect and preserve potential significant archaeological resources.

#### 3.2.2 Renovation/Rehabilitation/Restoration or Reuse

In renovation, rehabilitation, restoration or reuse it is imperative to protect the character of those form-giving buildings. Repair shall be sympathetic to the original or predominant construction where appropriate. Other appropriate recommendations are listed below.

- Retain distinguishing architectural character
- Retain distinctive features such as size, scale, mass, color and materials, including roofs, porches and stairways.
- Provide continued protection of wood, masonry and architectural metals through appropriate cleaning, rust removal, limited paint removal, and re-application of protective coatings.
- Evaluate the overall condition of materials and features to determine whether more protection and maintenance are required.
- Repair features of the site by reinforcing historic materials.
- Replace in kind an entire feature of the site that is too deteriorated to repair if the overall form and detailing are still evident. Physical evidence from the deteriorated feature should be used as a model to guide the new work. This could include a walkway or fountain. If using the same kind of material is not technically feasible, then a compatible substitute material may be considered.

#### 3.2.3 Additions

Additions are made to existing buildings to accommodate growth or need. Additions shall be sympathetic to the original or predominant typology where appropriate.

In general additions should be:

- Compatible to the existing building and overall area character.
- Located to sides and rears of buildings as appropriate (additions that bring buildings closer to the setback line may be appropriate in areas where a continuous line of commercial character is desired).
- Protect architectural details on buildings that contribute to the character of the corridor.



- e. **Change in Use.** Changes in use (to any another permitted use in the zoning district) without any physical improvements to the site are not subject to the Anastasia Boulevard Development Standards.
- f. **Non-Conforming Uses:** Any changes to non-conforming uses shall be conducted per the requirements of the City’s land development regulations (Chapter 28, Division 4, Nonconforming Lots, Uses and Structures).
- g. **Ancillary Uses and Structures:** Accessory uses and structures, included but not limited to parking on adjacent or nearby sites shall be subject to the Anastasia Boulevard Development Standards.
- h. **Interior Changes:** Interior changes shall not be subject to the requirements of this document.
- i. **Corporate Architecture:** All national and international corporate commercial buildings shall abide by the Anastasia Boulevard Development Standards.
- j. If a provision of these Standards is or becomes illegal, invalid or unenforceable, that shall not affect the validity or enforceability of any other provision of this Standards.

- Construct the new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged or destroyed.
- Compatible in terms of mass, materials, relationship of solids to voids, and color.
- Infill porches on frame buildings are not considered a compatible addition.

**3.2.4 Demolition**

Demolition refers not only to the complete razing of a structure, but to the permanent removal of significant architectural features. This includes the removal of porches, balconies, steps, dormers, chimneys, walls, additions and similar features. The destruction of significant archaeological features, such as foundations and wells, also constitutes demolition.

When reviewing an application for demolition, the appearance review official will use the following criteria:

- Whether or not the structure is a designated landmark or is a character giver to the area.
- The contribution of the structure to the mass and scale of the street environment.
- The impact caused by the loss of the structure on the street environment.
- Whether or not the structure will be replaced and the impact of a replacement structure, or lack thereof, on the streetscape.
- The impact caused by the loss of the structure on the integrity of the district.
- Whether or not the structure is representative of a style or type of architecture or a method of construction.
- Whether or not the structure is one of the last surviving examples of its style or type of architecture or a method of construction.
- Whether or not the structure is of such design, craftsmanship or materials that it either could not be reproduced, or could be reproduced only with great difficulty or expense.
- The condition of the structures and the possibility of rehabilitating or relocating the structure.

**3.2.5 Relocation**

Relocation is the removal of all or part of a building or structure from one property by placing it on a different property, or shifting the location or orientation of all or part of a building or structure on the same property.

The corridors are unique because of the mix of predominant architectural styles. The corridors also contain varying site development characteristics that were in vogue at the time each was developed.

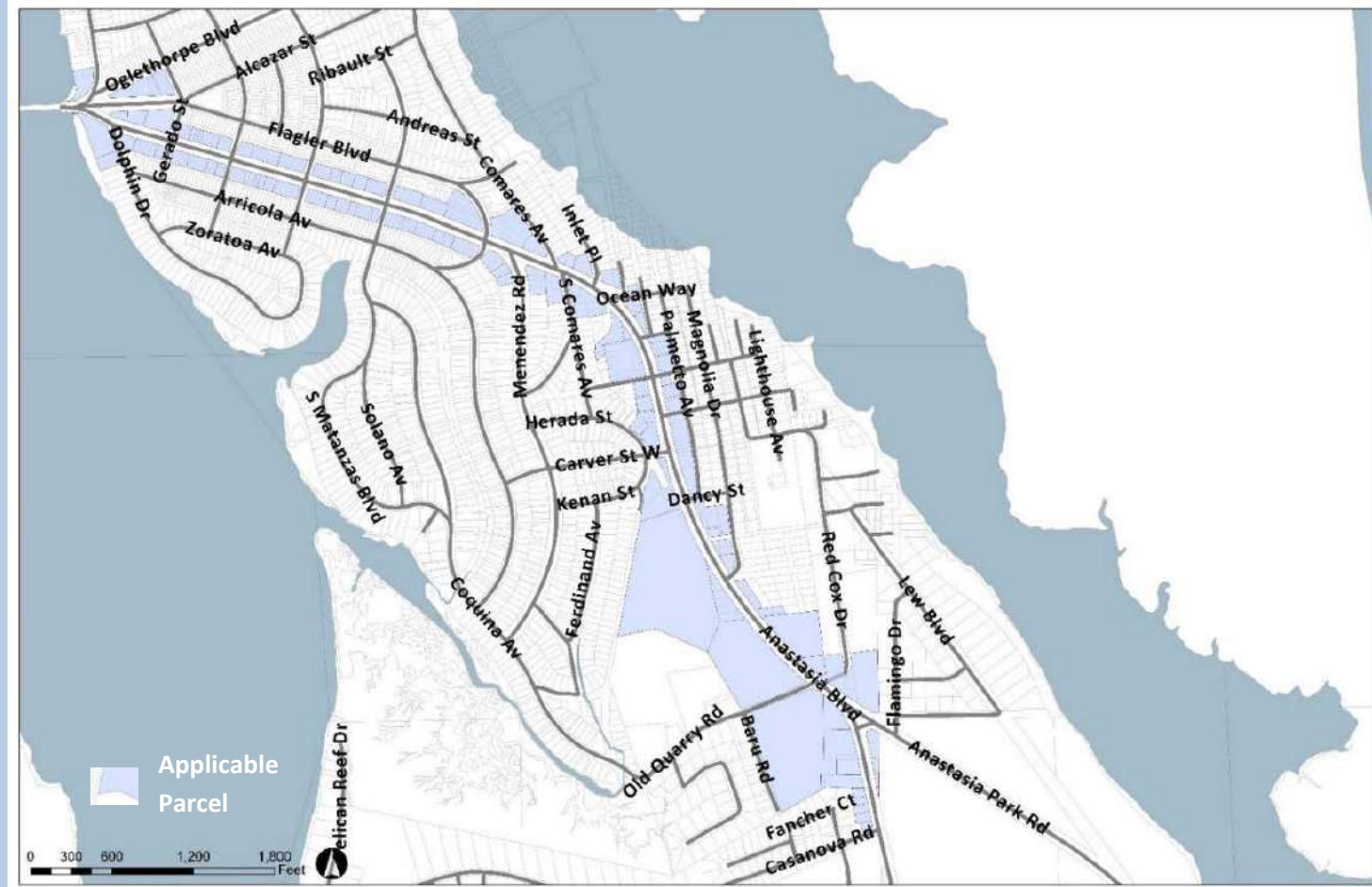
When reviewing an application to relocate a building or structure on the same site or to move a building or structure to a new site, the appearance review official will use the following criteria:

- Whether or not the structure is a designated landmark or is eligible for designation.
- Whether or not the structure is individually listed on the National Register of Historic Places or is eligible to be individually listed.
- Whether or not the structure is a contributing property to the historic districts.
- Whether or not the structure is within or is immediately facing a locally designated historic preservation zoning district.
- The contribution of the structure in its existing location to the mass and scale of the streetscape.





Figure 2. Entry Corridor Applicable Parcels





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## Section 4. Boulevard Design Standard Application Review Process

The zoning and building codes regulate land uses, construction and signs. Developers must obtain a permit from the planning and building department prior to commencing work or installing signs. Projects involving land disturbance may require investigation by the city archaeologist prior to work.

### 4.1. Application Process

Application forms and instructions may be obtained from the planning and building department. Applications must be signed by the property owner. An application fee is required. Supporting documentation, such as plans, elevations, sketches, photographs, samples of materials and specifications shall be submitted with the application.

### 4.2. Plan Review

Staff from the planning and building department shall be responsible for reviewing development plans to determine compliance with the Anastasia Boulevard Development Standards. The city may decide to contract with a design consultant to perform architectural reviews and determine consistency with the architectural design provisions of this document.

### 4.3. Corridor Review Committee

#### 4.3.1. Activities Requiring Review.

The following activities require approval by the Corridor Review Committee (CRC):

- a. An architectural style not representative of the mid-century highway commercial character of the area;
- b. Murals;
- c. Architecturally integrated signs;
- d. Modification of standards between 10 and 30% of a dimensional requirement of this document and non-dimensional modifications;
- e. Development sites that exceed one (1) acre in size;
- f. Developments that exceed 5,000 square feet in gross floor area;
- g. Buildings of more than two (2) stories;
- h. New construction that includes parking structures;
- i. Appeals.

#### 4.3.2. Review Criteria.

The CRC shall use the following criteria when reviewing an application:

- a. The proposed project meets the intent of the Anastasia Boulevard Design Standards;
- b. Approval of the proposal will not set an unintended precedent;
- c. Approval of the request will result in quality development and will not be detrimental to the neighboring sites or the overlay area as a whole.

- The impact that the loss of the structure or the relocation of the structure on the site will have on the streetscape.
- Whether or not the structure will be replaced and the impact of a replacement structure, or lack thereof, on the streetscape.
- The historical or cultural merit of the structure in relation to its existing site.
- Whether or not the structure is of such design, craftsmanship or materials that it either could not be reproduced, or could be reproduced only with great difficulty or expense.
- The condition of the structure.
- The justification for the proposed relocation.
- The impact that the loss of the structure or the relocation of the structure on the site will have on the historical or cultural integrity of the city, district and neighborhood.
- Whether or not the structure is representative of a style or type of architecture or a method of construction.
- Whether or not the structure is one of the last surviving examples of its style or type of architecture or a method of construction.

#### 3.3.1 Corporate Commercial Architecture

All national and international corporate commercial buildings shall abide by the urban design prototype and detailed design regulations established.



#### 4.4. Effect of Approval.

If the plans are approved by the planning and building department staff (or design consultant), the applicant may proceed to apply for a building permit. If the proposed use requires a zoning exception or variance, the planning and building department staff shall submit a recommendation to the Planning and Zoning Board.

#### 4.5. Appeals

Staff determinations may be appealed to the CRC. CRC determinations may be appealed to the City Commission.

Appeals must be made in writing within two weeks after the denial. Appeal should state item number, address, action and justification for reversal or modification.

#### 4.6. Submittal Requirements.

All plans shall be prepared by appropriate registered professionals including but not limited to; architects, landscape architects and engineers to name a few. Plans submitted must be neat, legible, drawn to scale and dimensioned. Failure to submit complete plans by the application deadline stated in the application form shall result in denial of the application. The plans shall contain the following at a minimum:

- A complete site plan of the property to be developed, showing the location of all structures and buildings, required yards, required parking, surface drive areas, loading spaces, stacking spaces, landscaping areas (both perimeter and interior), the location of all trees three (3) inches or larger dbh, by species and dbh (both to be removed and to be retained), dumpsters, exterior mechanical equipment, storm drainage retention areas, and (scale preferred: 1 inch = 20 feet).
- Landscape planting plan at a minimum scale of 1 inch=10 feet including hardscape, plant materials, sizes and location.
- Irrigation plan;
- A list of any requested modifications of standards.
- A clear and detailed description of all proposed construction.
- Elevations of all proposed construction (scale preferred: 1/8 inches = 1 feet).
- Wall sections (scale preferred: 3/4 inches = 1 feet).
- Paint colors and locations (including paint chips or samples).
- Photographs of the existing structure (pre-construction) and all adjacent structures.
  - Details indicating the following (scale preferred: 1-1/2 inches = 1 feet) windows, shutters and shutter hardware
  - Doors, hinges and hardware
  - Light fixtures
  - Gutters and downspouts
  - Exterior surfaces, materials and textures
  - Chimneys
  - Roofing
  - Air conditioning equipment and above ground fuel tanks
  - Electric meters and service risers

A Final Design Approval (FDA) is the determination that the final, complete construction plans, details and specifications for a project meet the architectural requirements in these standards. A Final Design Approval is required before a building permit may be issued.

#### 4.5 Certificate of Demolition or Relocation

A Certificate of Demolition or Relocation is the determination that the demolition, removal or relocation of a structure will not adversely impact the district. A Certificate of Demolition or Relocation is required to obtain a demolition permit. The applicant may also be required to submit information on the structural condition of the building from an engineer or architect to justify the need for demolishing the structure.

If permission for demolition is granted, to prevent negative impacts on the streetscape and surrounding properties, all debris must be removed and the site landscaped according to a landscape plan that is approved by the architectural review official. Site landscaping should be installed within thirty days of the demolition or relocation.

#### 4.6 Application Process

Application forms and instructions may be obtained from the planning and building department. Applications must be signed by the property owner. An application fee is required. Supporting documentation, such as plans, drawings, sketches, photographs, samples of materials and specifications should be submitted with the application.

#### 4.7 Appeals

Appeals must be made in writing within two weeks after the denial. Appeal should state item number, address, action and justification for reversal or modification. Initial appeal of the architectural review official's determination is appealed to a joint hearing of an appearance sub-committee comprised of 3 to 5 members from HARB and planning and zoning. Members are appointed to this special committee on an annual basis. The sub-committee shall meet on call. Reversal of the Architectural Review Board's decision may be appealed in writing to the city commission not more than two weeks after the date of the written denial.

#### 4.8 Actions Not Requiring Architectural Review

Some projects, though requiring a permit from the planning and building department, do not require review and approval by the architectural review official. Projects that meet the following criteria are 'pre-approved':

1. Routine maintenance and repairs using the same materials in a way that matches the architectural style of the existing building.
2. Placement or installation of utility services (water meters, electric meters and service risers) or mechanical equipment (gas tanks or air conditioning compressors), that are not visible from the right-of-way.
3. Painting or repainting a building to match the existing colors, or using different colors if the new colors are on the pre-approved color charts, provided the colors are appropriate for the architectural style of the building.
4. Repainting or changing the copy of existing signs using a combination of the colors on the pre-approved color charts; provided the sign contains no graphics or very simple graphics; provided the sign copy





- Satellite dish antennas
- Exterior porches, landings, stairs, ramps, railings and banisters
- Fences and walls (height, materials and colors)
- Walks and drive surface materials
- Patios and decks
- Other miscellaneous ornamentation
- Renderings (optional)

#### 4.7. Modification of Standards

Due to the individual unique characteristics or circumstances of any given development along the Anastasia Boulevard, flexibility in the application of design standards may be warranted in certain situations. Modifications from the standards may be requested by an applicant as part of the development review process. If an applicant requests multiple modifications, each modification shall be evaluated independently.

##### 4.7.1. Application.

All requests for modifications shall be noted on the site plan. The request shall be approved or denied during development plan review and, if granted, shall be noted on the final development plan.

##### 4.7.2. Administrative Modifications.

The Planning and Building Department Director or designee shall have the authority to grant limited modifications, as set forth below, where it is determined that the proposed development meets the intent of the zoning district, the requested modification is the minimum necessary to allow reasonable development of the site and the requested modification is not injurious to the public health, safety and welfare. Administrative modifications are limited to ten (10) percent of the dimensional requirements established in this document.

##### 4.7.3. CRC Modifications.

The CRC shall review the following modification of standards:

- Modifications of more than ten (10) percent but no more than thirty (30) percent of a dimensional requirement,
- Modifications of ten (10) percent or less previously denied or referred to the Corridor Review Committee by staff, and
- Modifications to the non-dimensional requirements contained in this document.

Changes of more than thirty (30) percent of a dimensional requirement shall be processed as variances.

##### 4.7.4. Prohibited Modifications.

No modification shall be granted under this section for the following:

- Use of land.
- Development density or intensity.
- Encroachments into the public right-of-way.

uses one of the pre-approved lettering styles; and provided the colors and lettering style are appropriate for the architectural style of the building.

5. Extending an existing fence or wall at the same height, using the same materials and matching the architectural style of the existing fence or wall, provided that the style of the existing fence or wall is appropriate to the architectural style of the building.

#### 4.9 Plan Requirements

All plans shall be prepared by appropriate registered professionals including but not limited to; architects, landscape architects and engineers to name a few. Plans submitted must be neat, legible and drawn to scale. Failure to submit complete plans by the application deadline stated in the application form shall result in denial of the application. The more detail, the better. The plans shall contain the following at a minimum:

1. A complete site plan of the property to be developed, showing the locations of all structures and buildings, required yards, required parking, surface drive areas, loading spaces, stacking spaces, landscaping areas (both perimeter and interior), dumpsters, exterior mechanical equipment, storm drainage retention areas, and all trees three (3) inches or larger d.b.h., by species and d.b.h. (both to be removed and to be retained), and any other necessary details required for review (scale preferred: 1 inch = 20 feet).
2. A clear and detailed description of all proposed construction.
3. Elevations of all proposed construction (scale preferred: 1/8 inches = 1 feet).
4. Wall sections (scale preferred: 3/4 inches = 1 feet).
5. Paint colors and locations (including paint chips or samples).
6. Photographs of the existing structure (pre-construction) and all adjacent structures.
7. Details indicating the following (scale preferred: 1-1/2 inches = 1 feet).
  - windows, shutters and shutter hardware
  - doors, hinges and hardware
  - light fixtures
  - gutters and downspouts
  - exterior surfaces, materials and textures
  - chimneys
  - roofing
  - air conditioning equipment and above ground fuel tanks
  - electric meters and service risers
  - satellite dish antennas
  - exterior porches, landings, stairs, ramps, railings and banisters
  - fences and walls (height, materials and colors)
  - walks and drive surface materials
  - patios and decks
  - other miscellaneous ornamentation
8. Landscape planting plan at a minimum scale of 1 inch=10 feet including hardscape, irrigation plan, plant materials, sizes and location. Note: Irrigation systems are required.

#### 4.10 Signs Submittal Requirements



- d. A reduction of a setback to less than 5 feet adjacent to a single family residential district.

#### 4.7.5. Review Criteria.

A modification of standards may be granted by the approving authority if it finds that strict application of the standards is not warranted and that granting a modification will fulfill the intent of the standards. The approving authority shall apply all the following criteria, when applicable, to determine if the applicant has justified a request for a modification:

- a. The request is within the parameters listed above.
- b. The request is consistent with the Comprehensive Plan and generally consistent with the purpose of the Code of Ordinances and this document.
- c. The proposed modification will not have a material negative impact on adjacent uses, or the applicant proposes to mitigate the negative impact to be created by the modification.
- d. Compliance with the requirement is technically impractical or undesirable based on site conditions, or approval of the modification will result in superior design.

#### 4.7.6. Additional Requirements.

- a. The burden of presenting evidence sufficient to satisfy the applicable criteria remains with the applicant seeking the modification.
- b. The applicant may propose conditions to ensure that the use of the property to which the modification applies will be reasonably compatible with the surrounding properties, including visual screening.
- c. Modifications may be granted even if nonconforming structures will be enlarged or altered as a result of the modification.
- d. A granted modification and any conditions attached to it shall be entered on the face of or attached to the development order or permit and development plan.
- e. A proposed change to an approved modification shall be added to the approved modification and considered in the aggregate. The total modification (approved modification plus proposed change) shall determine the approving authority per subsections 4.7.2 and 4.7.3, above.

The sizes, types, numbers and locations of signs everywhere in the city are regulated by the sign code. Permits are required to install, repaint, move or change the copy of any sign. Signs must be on the same property as the business or use they are advertising.

Installing or altering signs without a sign permit, or violating the terms and conditions of a sign permit will result in a 'stop work order', a citation or an appearance before the municipal code enforcement board. All of these actions may result in fines.

Specific regulations and restrictions such as sign zones, sign types, dimensions and locations are addressed in Chapter 3 of the St Augustine City Code.

Additionally, in corridor overlay areas, the type, size, colors, lettering styles, graphics and materials for signs are also regulated. All signs must meet pre-approved standards. Signs meeting the standards may be approved by the planning and building department.

Pre-approved color charts and examples of pre-approved lettering styles are available in the planning and building department.

All signs must be permanently mounted to the building or anchored in the ground. Surface graphics (signs painted directly on the facade of a building), portable signs, internally illuminated signs, streamers and pennants are specifically prohibited.

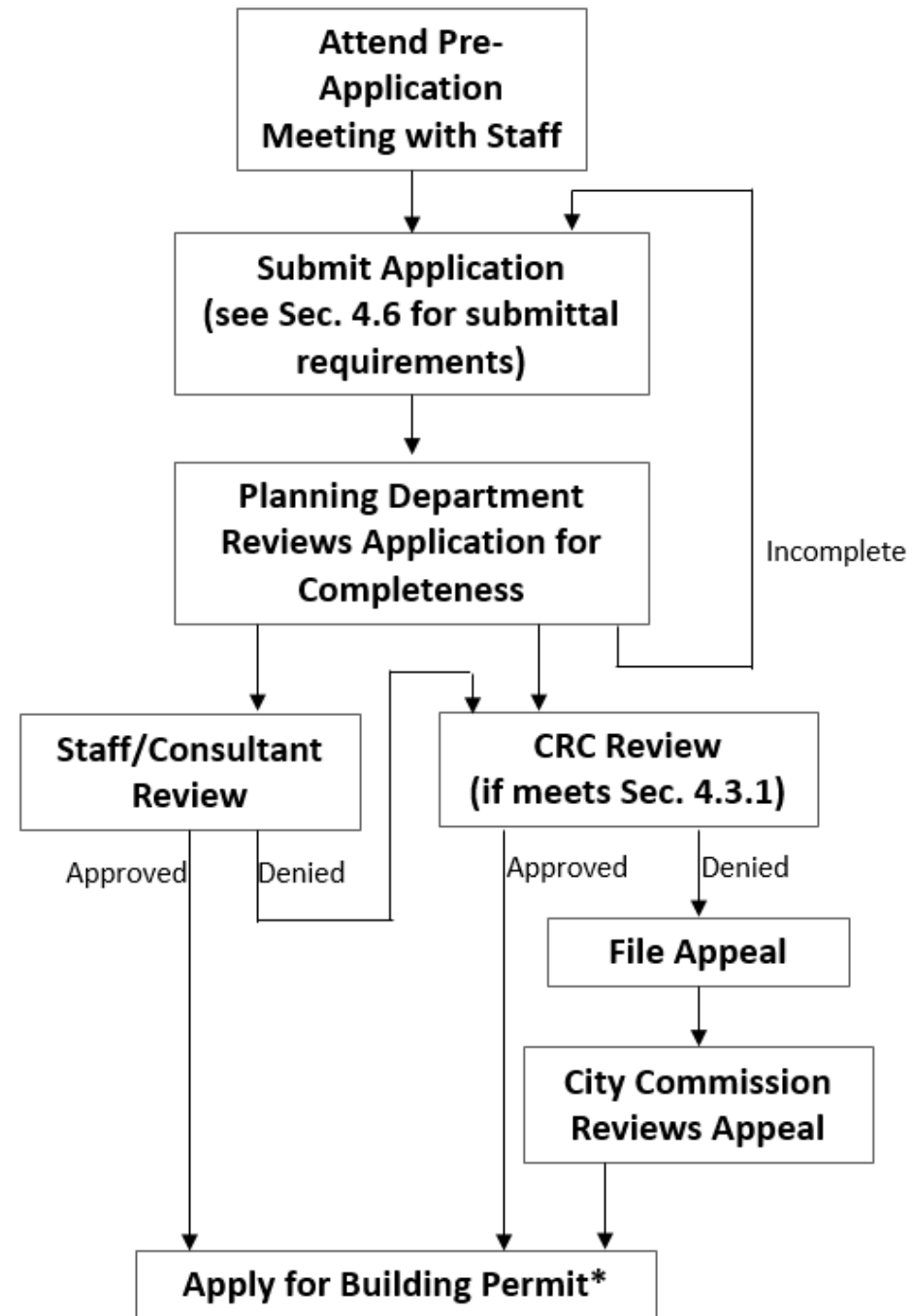
#### 4.10.1 General Conditions

The following general conditions aid compliance of the sign design standards.

- It is most appropriate to locate new signs on the flat, unadorned parts of a facade, including above doors or windows.
- Simple design and lettering styles such as block-style and serif style, painted in high contrast to the signboard color are preferred.
- Sign panels should be square or rectangular and flush mounted. Highly ornate signs are inappropriate.
- Signs that obscure architectural details such as windows, cornice, decorative brickwork and storefronts are inappropriate.
- Signs that interfere with the sight lines of adjoining buildings are inappropriate.



Figure 3. Review Flow Chart



\* Not including other reviews such as zoning exception or variance. If those are required, they occur after the CRC review.



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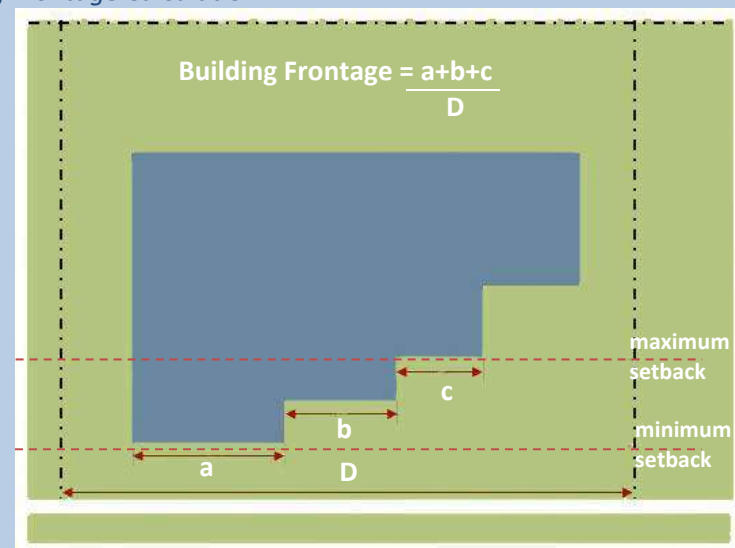


## Section 5. Site Design

### 5.1. Building Frontage

The purpose of the following building frontage requirements is to ensure façade continuity along Anastasia Boulevard and to avoid large voids between buildings. The building frontage standards are stated as a proportion of the building width within the required building setback relative to the width of the development site measured at the site frontage line. Portions of the building façade outside the required front/street building setback do not count as building frontage (see Figure 4).

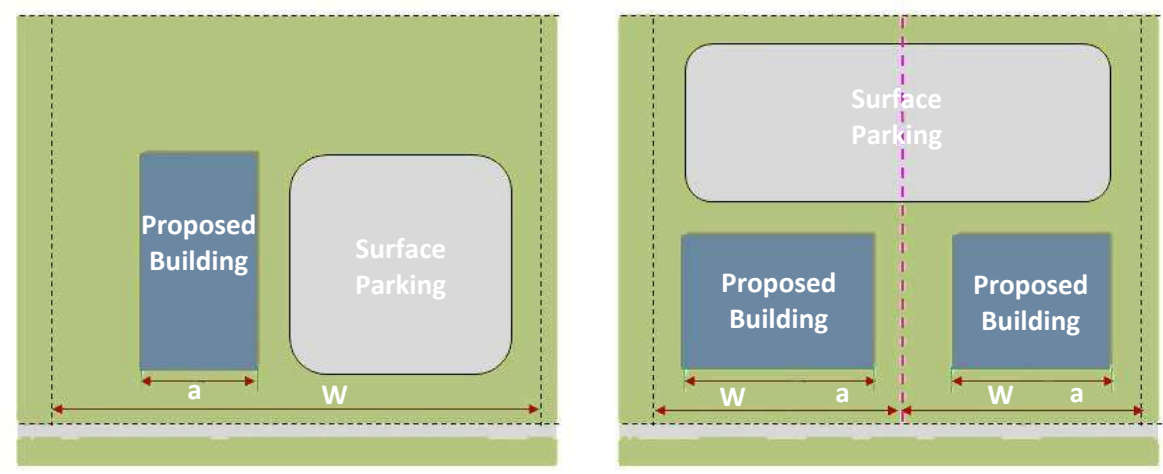
Figure 4. Building Frontage Calculation



- The building frontage (a+b+c) shall be a minimum of 50% of the site frontage (D).
- Sites with frontages on multiple streets shall be required to meet the minimum required primary frontage along Anastasia Boulevard only.
- Exceptions to the Building Frontage requirements: In the event the proposed building width is too narrow to meet the minimum frontage requirement, the applicant shall have the option of dividing the lot into smaller, narrower lots to meet the dimension requirements, as shown on Figure 5. No platting will be required, but the site plan shall show the new lots as available for future development.



Figure 5: Exceptions to the Building Frontage



Left diagram: Building width ( $a$ ) is too narrow to meet the minimum building frontage. Right diagram: Subdivide the lot to decrease its width ( $W$ ) to meet the minimum building frontage.

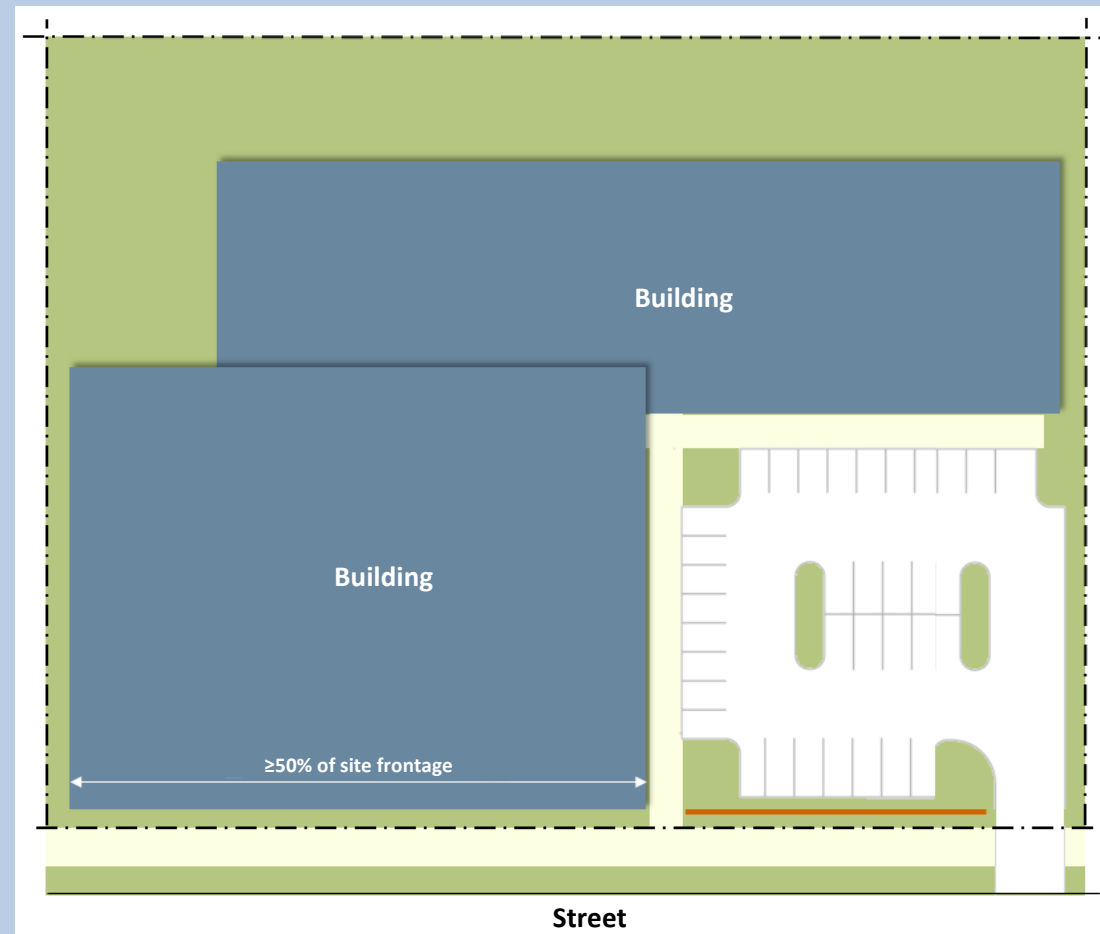
## 5.2. Building Placement

The placement of a building on a site is critical to creating a vital and coherent public realm that is both welcoming and functional. Elements and uses of the “public realm” may include expanded sidewalks, outdoor café areas, bicycle parking, art/sculpture, and outdoor retail spaces, among others. The rhythm/pattern of buildings, combined with their relationship to the street expressed through setbacks and architecture, define the character of the public space. The intent of the following building setback standards is to shape the public realm, and strengthen the physical and functional character of the area.

- a. The building setbacks, which shall be measured from the property line to the building wall excluding eaves and overhangs, shall be as follows:
  - Front and Side Street = 10 feet minimum, 20 feet maximum
  - Interior Side Setback = 5 feet
  - Rear Setback = 5 feet
- b. The minimum front and side street setbacks (as defined in Section 5.2.a) may be reduced to 5 feet for a maximum of 50 percent of the building façade facing the street.
- c. The maximum front and side street building setback shall only apply to the portion of the building meeting the building frontage requirement. This provision will allow for L-shape buildings, where a portion of the building is recessed more than 20 feet from the front property line. See Figure 4, Building Frontage Calculation, and Figure 5, Parking Location and Access.



Figure 6. L-Shaped Buildings



- d. The front and side street- setbacks may be used to expand the public sidewalk, for outdoor dining, or for landscaping.
- e. Balconies, bay windows, awnings, canopies and roof overhangs may encroach into the front and side street setback zones, but not into the right-of-way.
- f. New developments or additions abutting or across the street from a single-family residential zoning district shall provide a fifteen (15) foot setback along the portion of the site abutting or across the street from the single family zoned property. Landscaped buffers shall be provided as required in Section 7 of this document.
- g. Building facades facing a right of way shall be built parallel to the property line along that street.
- h. The placement of buildings at the rear of a site is permitted as long as one or more buildings are built in front meeting the requirements of this section (see Figure 7 for an acceptable design alternative). In such cases, the front buildings need to be built first, access drives shall be incorporated into the site layout to create connectivity to other sites and streets. The main access drive shall be centered on the anchor building (if allowed by driveway permits) and shall be lined with buildings or sidewalks and urban landscaping.

### 3.3.2 Site Plans and Building Setbacks

Buildings often share common front and side setbacks. Commercial buildings should be set directly on the property lines creating a unified building wall along street fronts.

### 3.3 New Building and Site construction

The varying building and site conditions necessitate creation of a more uniform and visually appealing district. To do this, several actions are necessary; and include providing consistency with the site-planning idiom; uniform sign design regulations, and improved enforcement of building and zoning code violations. In tandem with the site development regulations it is necessary to develop new building standards to better focus site and building development. Each of the corridors, shall be recognized to have buildings that contribute to the historic character of the city representing the turn-of-the-century architectural styles.

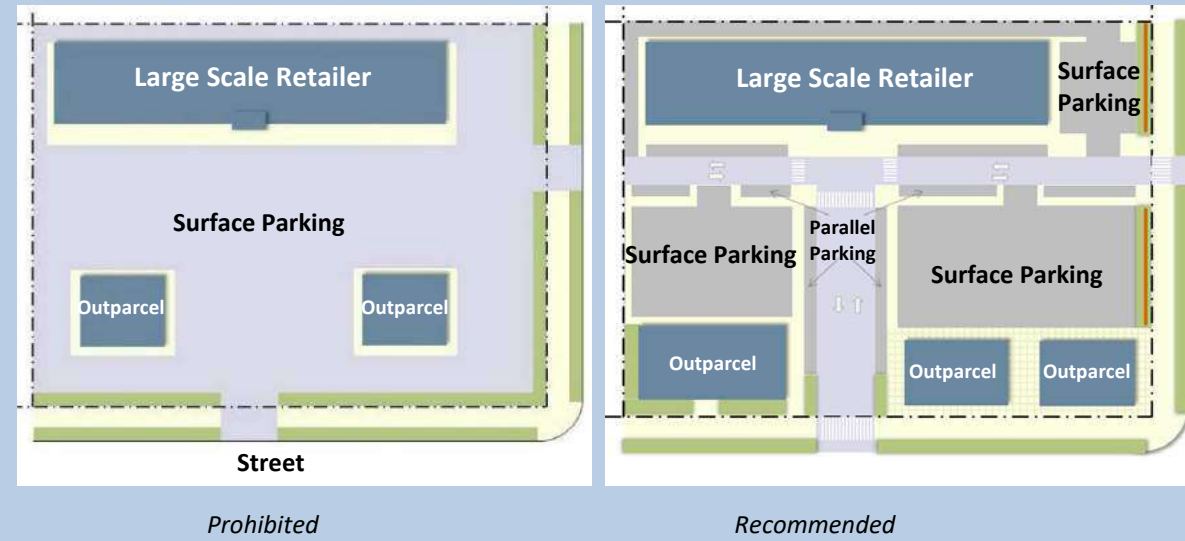
New construction shall complement the existing architectural styles of the historic districts when possible. This may be done through sensitive planning and design. Reinforcement of architecture and setbacks may strengthen the character of the corridors. Building infill and redevelopment should respect existing character giving architectural forms previously mentioned and relate new designs in height, materials, roof form, massing, setbacks, and rhythm of openings.

Buildings shall be placed on sites with respect to creating uniformity of setbacks where possible. Construction of Colonial Style Architecture (1565 to 1821) is not permitted outside the historic districts or within the entry corridors.

Prior to construction, one should refer to the urban typology map on page 18 to establish the category. After establishing typology, please refer to applicable standards identified in the following text. Each category is introduced with General Conditions and may be followed with specific standards to that corridor/typology. The specific standards for the corridor/typology supersede the general conditions where they conflict.

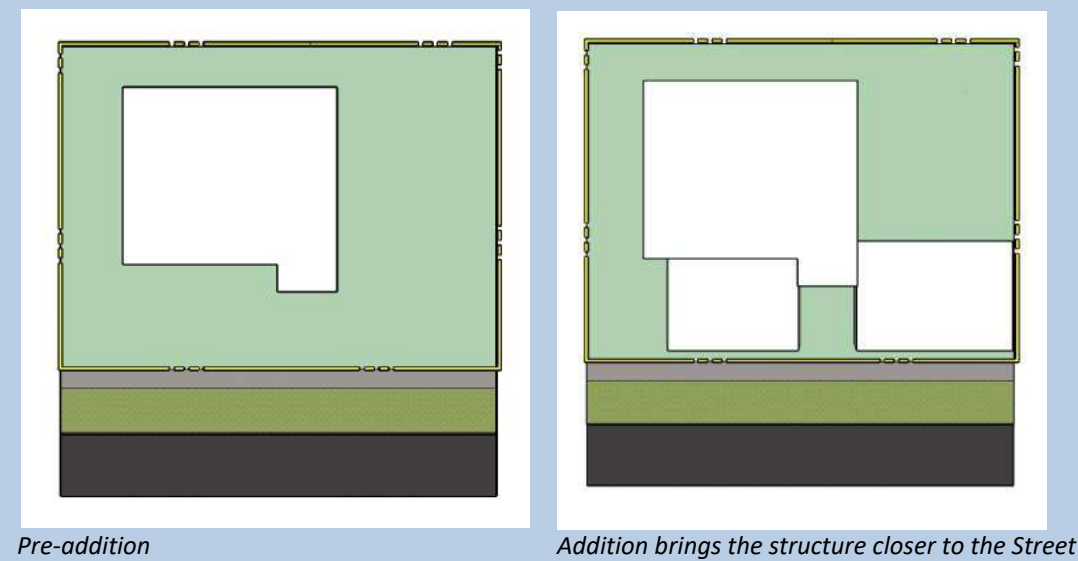


Figure 7. Multiple Buildings on a Site



i. Existing buildings on a site subject to redevelopment will not be required to meet the setback standards listed above. However, if technically feasible and not detrimental to the architecture of the existing building, any additions to the building shall serve to bring the building closer into compliance (see Figure 8).

Figure 8. Examples of Building Additions



### 3.1.6 Walkways and Plazas

Walkways and plazas shall link all public sidewalks to front door entries. Fountains, water features, public art and trellis are encouraged. Walkways shall span over existing continuous curb cuts. Preferred materials for each typology are indicated in the following text.

Residential, Institutional and Traditional Commercial. Walkways shall connect public buildings with public sidewalks, therefore, the material selected shall be compatible with the menu of materials represented in the sidewalk condition. Appropriate paving includes gray concrete and Reynolds pavers.

Highway Commercial. Appropriate sidewalk materials in the Anastasia Boulevard corridor include decorative contemporary concrete pavers. Concrete paving with color admixtures or plain concrete sidewalks are permitted.

### 3.1.3 Driveways and Parking Areas

#### General Conditions

To provide better pedestrian access driveways, parking areas and curb cuts shall not be encouraged on the primary street. Alternative access and cross access shall be first explored for mid-block parcels. Where no opportunities exist for joint access, separate access shall be provided according to the following requirements. A single drive shall be allowed for each primary frontage. Single, one-way drives shall be no larger than 14 feet in width. Double or two-way shall be no larger than 24 feet. Turning radii shall vary between 10 and 20 feet depending on application. Parking and site retention shall be allowed only to the rear sides of lots and cross access easements shall be promoted to link rear parking areas. Parking lots shall meet the city's parking lot landscaping codes. Parking exposure on Anastasia should be minimized and properly screened with landscaping to better separate pedestrians from the vehicles and reduce negative visual impacts on the sidewalk.

Parking lots shall be designed in a finished paving material and be curbed to discourage drainage onto buildings or other sites. Existing, significant architectural features such as walls, specimen trees or other exemplary or contributing features shall be retained as part of the design.

Parking visible to the rights-of-way and side streets must be screened by a wall at least 18 inches, but not greater than 30 inches in height. Mid-block and other sites requiring curb cut access shall be approved only if it is proven that other site access, or cross-access is not possible. The city shall pursue with the FDOT Access Management Study to assess curb and access placement.





### 5.3. Design of the Street Setback Zone.

The intent of the front and side street setback, measured from the property line along the street, is to provide a transition, both physical and visual, from the street to the building. The zone created by the setback (Street Setback Zone), should vary in design depending on the level of privacy desired along the building façade. Commercial buildings usually have a setback zone designed to attract customers into the building, while residential, office or lodging buildings often have a setback zone designed to provide privacy to the ground floor rooms, as shown on Figure 9. The Street Setback Zone is subject to the following standards:

Figure 9. Examples of Street Setback Zone Activity



Street setback Zone used for outdoor seating (left) and to buffer residential uses (right).

- a. Landscaping, if provided within the Street Setback Zone, shall be in the form of containers and/or planter boxes consistent with the building mass and architecture (see Section 7, Landscaping). Street setback zones in front of uses that do not require pedestrian interaction along the façade (e.g. offices, hotels, multifamily) may be landscaped with a combination of intermediate (understory) trees, palms, shrubs, vines and/or ground covers.
- b. Street furniture such as benches, trash receptacles, and/or bicycle racks may be installed within the street setback zone.
- c. Outdoor dining is permitted within street setback zones.
- d. The street setback zone may be used to expand the width of the public sidewalk in front of the development. Appropriate materials for such sidewalk expansion include decorative concrete pavers, tinted paving, clay brick, or plain concrete.
- e. Elements within the street setback zone (landscaping and architectural features) shall comply with the vision triangle requirements of the City (see Section 7.10 of this document).
- f. The proposed building ground floor along the Street Setback Zone shall contain active uses oriented to the street or, in the case of buildings that are elevated due to FEMA requirements, shall provide a direct connection (steps and/or ramp) to an active use. Active uses may include display or floor areas for retail uses, waiting and seating areas for restaurants, atriums or lobbies for offices, and lobbies or dining areas for hotels or multi-family residential buildings.



## 5.4. Site Access and Parking Placement

### 5.4.1. Pedestrian Access and Circulation

Pedestrian walkways, ramps or steps (or a combination of these) shall link the public sidewalk to the front door entry.

### 5.4.2. Vehicular Access

Parking areas shall be accessed from a rear alley, secondary street, or from an adjacent property (shared use agreement necessary), if any of these are available or proposed as part of the development. Where the only option for vehicular access is from Anastasia Boulevard, the following standards shall apply:

- a. Only one driveway shall be allowed per site.
- b. One-way drives shall not exceed 14 feet in width.
- c. Two-way driveways shall not exceed 24 feet in width.
- d. Turning radii along Anastasia Boulevard will be determined by Florida Department of Transportation.
- e. Turning radii for all other streets shall vary between 10 and 20 feet
- f. A Modification of Standards may be issued for turning radii and drive width, if approved by the Corridor Review Committee (see Section 4.7).

### 5.4.3. Parking Placement.

Surface parking lots shall be located behind the building (see Figure 10). However, the following parking placement alternatives are also allowed:

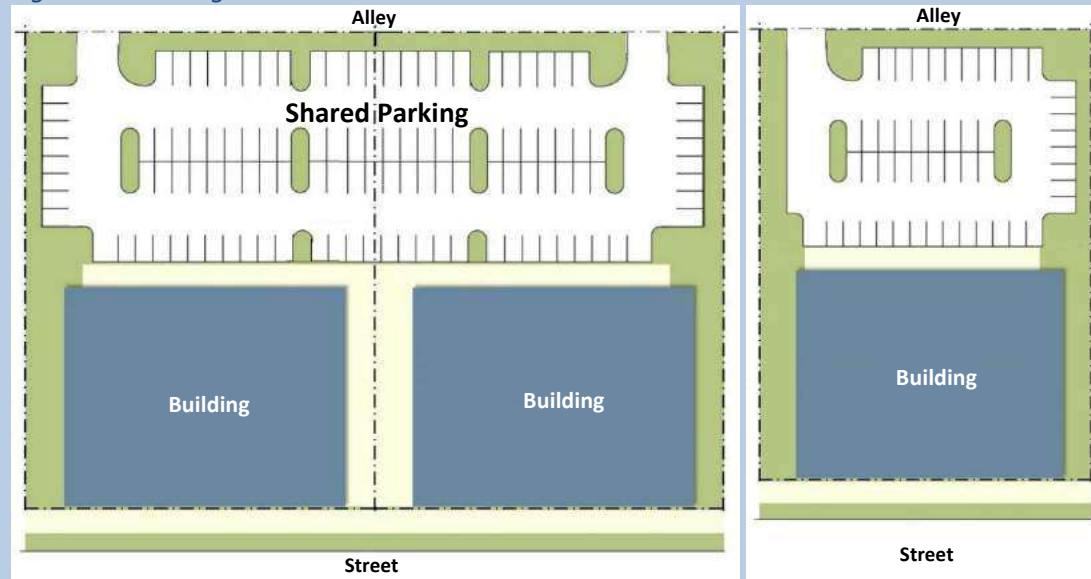
- a. Where a site is too shallow to provide parking behind the building, the placement of parking facilities is permitted on the side of the proposed building (see Figure 11) only if the building setback and building frontage requirements are met. A street wall will be required to screen the parking facility (see Section 7.7).
- b. The placement of parking facilities is permitted in front of a portion of a building (see Figure 11) only if the building setback and building frontage requirements are met (or a Modification of Standards is approved - See Section 4.7). A street wall and landscaping will be required to screen the parking facility (see Section 7).

#### **3.3.11 Parking**

Parking located within the design corridors is to be enclosed on all four sides to visually screen it from rights-of-way. Elevated parking facilities and parking canopies are to be enclosed on all four sides. Parking facilities are to have openings for ventilation, as required by the code. No single story parking canopies that are open sided are allowed.



Figure 10. Parking Location and Access - Allowed



**3.3.11 Parking**

Parking located within the design corridors is to be enclosed on all four sides to visually screen it from rights-of-way. Elevated parking facilities and parking canopies are to be enclosed on all four sides. Parking facilities are to have openings for ventilation, as required by the code. No single story parking canopies that are open sided are allowed.

Figure 11. Parking Location and Access - Acceptable

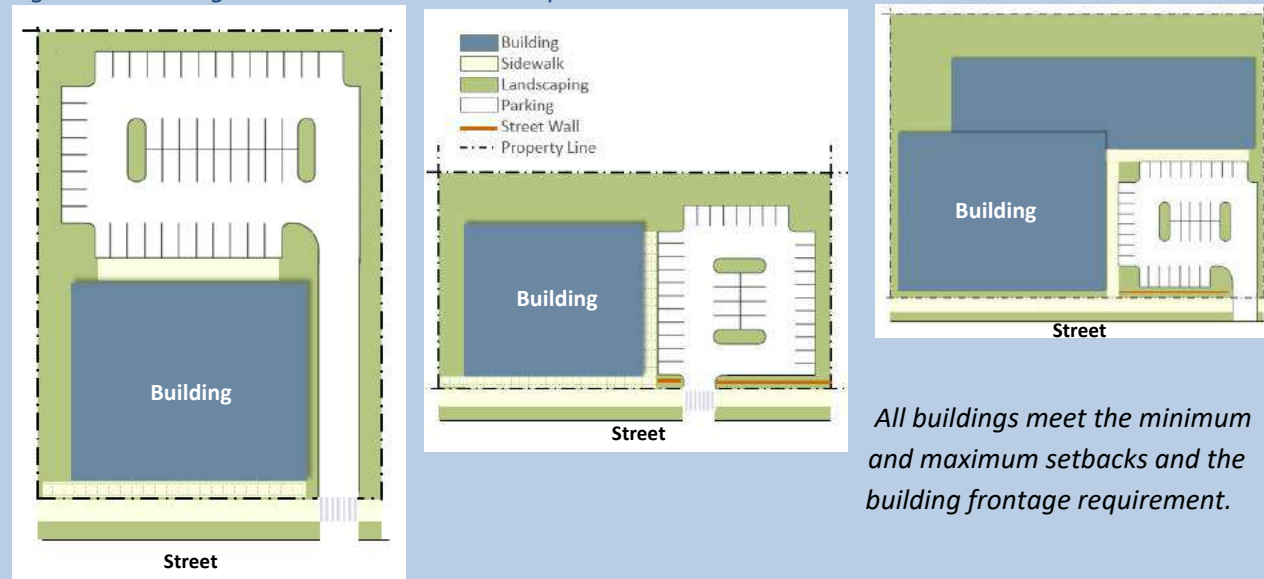
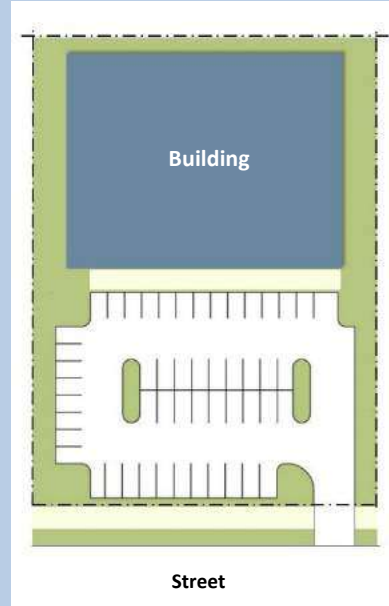


Figure 12. Parking Location and Access – Prohibited



#### 5.4.4. Existing Non-Conforming Parking Facilities

There are several sites in the district with parking spaces that do not meet current code standards in terms of access, location or size.

- a. Parking in Front of the Building. In conjunction with the redevelopment of a site, parking facilities that are already located in front of a building that is not being moved or demolished (see Figure 13) may remain as long as the parking spaces are determined to be safe by Planning and Building Department.
- b. Parking Spaces Accessed from Street. In conjunction with the redevelopment of a site, existing parking spaces that are accessed directly from the street (as opposed to a parking lane, see Figure 11) may remain as long as there is no option to provide the minimum parking requirements elsewhere on the site and the spaces they are determined to be safe by a City Department of Public Works official.
- c. Non-Conforming Curb Cuts and Driveways. Will only be required to meet the standards of this section if there is substantial redevelopment on the site, as defined in Section 3.

Figure 13:  
Existing  
Parking  
Facilities



Parking in front of the building



Parking Spaces Accessed from Street

#### 3.1.7 Site Lighting

Site lighting placement may also vary due to the adjacent roadway condition. On site lighting shall be guided by the following design principles.

Anastasia Boulevard is more vehicular in nature; therefore, more types of lighting may be appropriate. Some types of acceptable lighting may include building, up lighting, down lighting, neon and parking lot pole lighting. Building outline lighting is allowed only during the festive season from November to January. Parking lot pole lighting design may be contemporary but should be complementary to the lighting found in the streetscape.



#### 5.4.5. Bicycle Parking

In conjunction with new construction and substantial redevelopment (as defined in Section 3), the applicant shall provide bicycle parking facilities on the site at a rate of one bike rack space per 20 required vehicle spaces. The rack may be placed within the street setback area, but not within the public right-of-way.

#### 5.5. Site and Building Lighting

Acceptable lighting on the site may include lights on the exterior of a building, lighting shining on buildings or trees, and parking lot pole lighting.

- a. Lighting shall be compatible with the architectural design of the building.
- b. Full cut-off lighting fixtures shall be used for all exterior lighting. No lights are to glare directly at the right-of-way or the sky.
- c. Permanent accent lighting designed to accentuate building details is encouraged.
- d. Exposed interior and exterior fluorescent or incandescent bulbs that are visible from the public right-of-way are not allowed.
- e. Color LED and/or neon may be used as architectural lighting to accentuate building frame, profiles or details, however Corridor Review Committee approval must be achieved.
- f. Lighting poles may not surpass 20' in height as measured to the point of light output (see Figure 14).

Figure 14. Examples of Lighting







### 5.6. Stormwater Facilities.

Stormwater retention facilities, where required, shall not be located within the front or street side setbacks and shall be incorporated into the overall design of the project as amenities. Stormwater facilities located near the Street Setback Zone shall be screened by a street wall (see Section 8.6).

Developers are encouraged to use low impact design concepts such as rain water harvesting, green roofs, bio-swales, rain gardens, parking lot water capture and pervious pavement. The goal of encouraging the use of these mechanisms is to reduce stormwater runoff, capture contaminants closer to the source and reduce the use of potable water for irrigation and grey water activities.

*Figure 15. Examples of Stormwater Facility Design*

Sources: The Urban Report; Green and Sustainable Services, LLC.



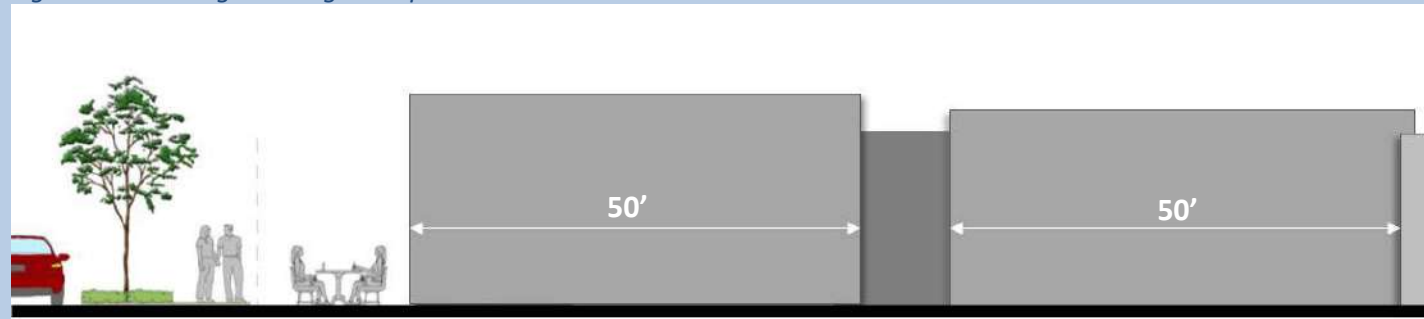


## Section 6. Building Design Standards

### 6.1. Building Massing

Large building volumes shall be divided to appear as smaller volumes grouped together. Volume breaks may be achieved by building wall projections and recesses, and varying heights and roof lines. Therefore, building facades shall not exceed fifty (50) feet along a street frontage without providing a substantial volume break such as a recess, or an architecturally prominent public entrance (Figure 6). The recesses and projections shall have a minimum depth of two (2) feet.

Figure 16. Building Massing Example

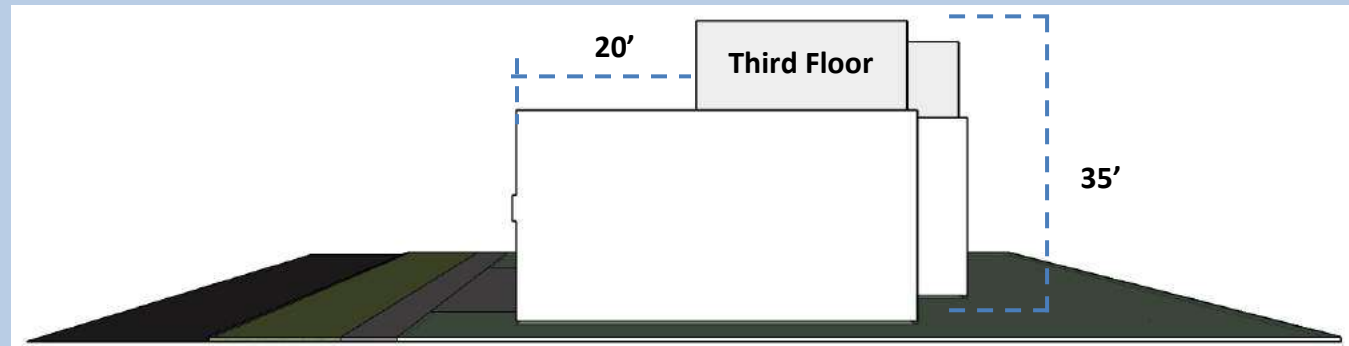


### 6.2. Building Height

Building height along Anastasia Boulevard shall not exceed 35 feet, measured from the base flood elevation as determined by the Federal Emergency Management Agency to the top of the highest point of the roof or parapet, exclusive of chimneys or other building accessories or ornamental features.

The maximum height of 35 feet allows up to three stories. However, the third floor shall be recessed from the front façade by 20 feet minimum to preserve the horizontality of the building as seen from Anastasia Boulevard. See Section 8.7, Mechanical Equipment for height restrictions on rooftop equipment.

Figure 17. Third Floor Setback



#### 3.3.4 Plan Form and Building Heights

A range of plan forms is seen along the various corridors. All buildings are to comply with FEMA (Florida Emergency Management Agency) Regulations. The maximum allowable height is 35 feet unless otherwise allowed by special zoning. Buildings with sloped roofs may have 2 and 1/2 floors with a maximum height of 35 feet. Flat roof buildings can have 3 floors to a maximum height of 35 feet. Air conditioning units and elevator shafts are not permitted to go above the standard height limit and need to be visually screened from the public right-of-way.

The allowable building height for new construction shall be regulated by the individual typology listed below and subject to the above mentioned maximums. New construction will complement the height and mass of the corridor as established by surrounding buildings and the corridor characteristics described in the Appendix.

- Buildings shall be generally one or two stories, constructed on slab, composed of several differing geometric shapes (including squares and rectangles) and are mostly horizontal in expression. Buildings shall have minimum landscape setbacks behind the sidewalk line.

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- Buildings shall be generally one or two stories, constructed on slab, composed of several differing geometric shapes (including squares and rectangles) and are mostly horizontal in expression. Buildings shall have minimum landscape setbacks behind the sidewalk line.



### 6.3. Lighthouse Viewshed

In order to protect the view of the lighthouse from Anastasia Boulevard, the maximum building height for properties located on the north/east side of A1A between \_\_\_ and \_\_\_ shall not exceed \_\_\_.

<Pending Clarifications>

### 6.4. Building Design

The Anastasia Boulevard area is known for its unique, eclectic 1950s highway commercial architecture associated with its mid-century period of development in a city known worldwide for its Spanish Colonial architecture. That uniqueness of the area is what these design standards intend to protect and promote.

#### 6.4.1. Architectural Character

No specific architectural styles will be required for new construction or redevelopment. While the Spanish Colonial architectural styles are typically associated with the City of St. Augustine, these styles shall not be used for new construction or redevelopment along the Anastasia Boulevard area. Spanish or Mediterranean revival may only be used in the vicinity of the Bridge of Lions and the Alligator Farm and require approval by the Historic and Architectural Review Board.

New construction and renovations should focus on reinforcing the mid-century highway commercial character of the Anastasia Boulevard area. The following are some of the elements characteristic of the mid-century architecture, which should be preserved or used as inspiration when designing new buildings or renovations (see Figure 18 and Appendix A for background information on mid-century commercial development):

- Horizontal emphasis.
- Simple design with little ornament and expression, except as noted below.
- Geometrical shapes contrasting with the simple design.
- Asymmetrical façades;
- Flat roof with small ledge (coping) at roofline;
- Cantilever canopies and awnings;
- Porte cochères;
- Covered walkways/breezeways;
- Smooth, rounded wall surfaces, often stucco;
- Horizontal grooves or lines in walls (sometimes fluted or pressed metal);
- Reinforced concrete, steel, glass, glass curtain walls.
- Decorative concrete block screens;
- Open indoor spaces with large plate windows;
- Casement, corner, picture or ribbon windows arranged horizontally;
- Expressive building structure (exposed steel frame, architectural block).
- Metal balustrades;
- Angled supports and railings;
- Glass-block windows, often curved and built into the curved wall;
- Sometimes nautical elements such as porthole windows;





- Subdued base colors - light earth tones, off-whites, or beiges; with typically dark colors trim colors (or bright metals) to contrast with the light base;
- Signs that are integral to the architecture of the building.

For rehabilitations or demolitions, historic objects used for architectural detail shall be preserved wherever possible; the Applicant shall note the historic and architectural significant elements on the building elevations submitted, along with a statement noting if the element will be retained, removed, or repurposed.

Figure 18. Mid-Century Highway Commercial Architecture Elements





#### 6.4.2. Existing Buildings/Renovations and Additions

Appendix D lists those buildings that have been determined to be significant to the character of the Anastasia Boulevard overlay area. Those buildings, in particular, should meet the following standards:

- a. Buildings that already feature a particular style or present some of the characteristics of the mid-century highway commercial architecture should be carefully restored to preserve such features. Otherwise, they should be redesigned to improve compatibility with the context of Anastasia Boulevard.
- b. Additions shall be designed so that there is the least possible loss or obstruction of character-defining features.

#### 6.4.3. Building Color

Building exterior colors are to be taken from the pre-approved colors on file with the City of St. Augustine (see Appendix B). Copies of these colors are available upon request. A minimum combination of three (3) colors shall be required per building: one for the main body, another for the trim and the third one for doors or other architectural features. Natural materials such as brick, aluminum, stone, count as one of the three colors.

Corporate colors not consistent with the pre-approved colors are not allowed. Bands of color around the building are not allowed, unless they are consistent with the pre-approved colors and highlight an architectural feature.

#### 3.3.5 Exterior Finishes, Details and Colors General Conditions

Allowable exterior finishes include stucco, brick, painted wood siding, and simulated wood siding. Pre-engineered buildings, metal siding that is found on pre-engineered metal buildings, plastic panels, high gloss metal panels and other veneers are not allowed. These materials are limited to signs. Unpainted wood siding is not allowed. Building exterior colors are to be taken from the pre-approved colors on file with the city of St. Augustine. Copies of these colors are available upon request.

- Building materials shall be primarily painted concrete block or stucco. Accent detailing may include brick bulkheads under or around windows. Brick may also accentuate window openings.
- Flat or fixed canopies, or entry covers are encouraged.
- Fabric awnings shall only be allowed where building is designed with adequate space to accommodate the awning.
- Stretch awnings on curved aluminum frames are not allowed.
- Both awning and flat canopy treatments are acceptable as long as they are uniformly applied to the same building.

#### 3.3.6 Windows

The size and division of windows shall reflect the style of architecture. No unfinished aluminum window framing is allowed. Aluminum framing must be finished.

Multiple pane glass is allowed up to the allowed percentages of glass for any one facade. Windows that abut a city right-of-way or street right-of-way are to be arranged to enhance the pedestrian's viewing ability. Allowable glazing types are to be clear float, gray light, and solar glazing. Reflective or heavily tinted glass is not allowed. Glass panes shall not exceed a maximum size of 6 feet by 8 feet. Windows should not be obscured by excessive signs and other attachments including neon lights, naked fluorescent or incandescent lights. Display windows shall be clear of all merchandise between 4 feet and 7 feet in height and shall not exceed 25 percent of the available glass area.

The maximum percent of glazing at ground floor for windows abutting city rights-of-way shall vary between 40 and 65 % of the ground floor facade area. The percent of glazing on second floors abutting city rights-of-way shall vary between 20 and 40% and the maximum percent of glazing on third floor windows abutting city rights-of-way shall vary between 20 and 40%.

Window sills are to extend to a minimum of 24 inches above the finished floor. Window heads are to extend to a maximum of 10 feet above the finished floor. High transom windows that do not have glazing below them are not allowed.

- Large clear glass storefront type windows shall be mounted above 18 inch bulkheads (covered with a finish material such as tile). The storefront shall have between 50 to 65% glazing for the total ground floor façade area of the building.
- Storefronts shall be topped with continuous transom windows that are in scale with the remainder of the building. Storefront windows shall be mounted in either wooden or finished metal frames.
- Windows shall be plate glass either mounted directly from foundation to ceiling or may be mounted on low bulkheads.
- Upper floor windows may either be plate glass, small square windows or windows with vertical expression.





Figure 19. Examples of Color Highlighting Architectural Features



Example of color band emphasizing horizontality



Three Colors

#### 6.4.4. Murals

For the purpose of the Anastasia Boulevard Design Standards, murals are not deemed to be signs, and may be allowed subject to the following requirements:

- a. All murals require Corridor Review Committee review.
- b. Murals may only be permitted on one façade, and only if the façade does not have any windows or doors.
- c. Murals may occupy 100% of the sides and rear facades. No murals shall be painted on the front façade.
- d. Murals shall be designed and painted by artists that have had previous experience with murals.
- e. Murals shall not contain words

#### 6.4.5. Building Materials

Allowable exterior finishes include stucco, brick, painted wood siding, painted concrete block, mill finish aluminum, and simulated wood siding. Pre-engineered metal buildings, metal siding that is found on pre-engineered metal buildings, plastic panels, and other veneers are not allowed, unless a Modification of Standard is approved by the CRC. Unpainted wood siding is not allowed.

- a. Building materials shall be primarily painted concrete block or stucco. Accent detailing may include brick or stone bulkheads.
- b. Stretch awnings on curved aluminum frames are not allowed.

#### 6.4.6. Windows and Glazing

Glazing percentages shall be calculated as the total area of glass (windows and glass doors), or openings in the case of parking garages, divided by the façade area

- a. The size and division of windows shall reflect horizontality. No unfinished aluminum window framing is allowed. Aluminum framing must be finished.



- b. Multiple pane glass is allowed up to the allowed percentages of glass for any one facade. Windows that abut a right-of-way are to be arranged to enhance the pedestrian's viewing ability.

Figure 20. Examples of Windows



Prohibited



Allowed

- c. Allowable glazing types are to be clear float, gray light, and solar glazing with 80% minimum transmittance. Reflective glass or film is not allowed.
- d. Glass panes shall not exceed a maximum size of 6 feet by 8 feet.
- e. Windows shall not be obscured or visually blocked by shelves or attachments, but blinds and curtains are allowed to achieve privacy.
- f. The percent of glazing at ground floors abutting rights-of-way shall be 30% minimum and 65% maximum of the ground floor facade area (not including parapet). The percent of glazing on upper floors abutting city rights-of-way shall be 30% minimum and 40% maximum.



Figure 21. Calculating Glazing

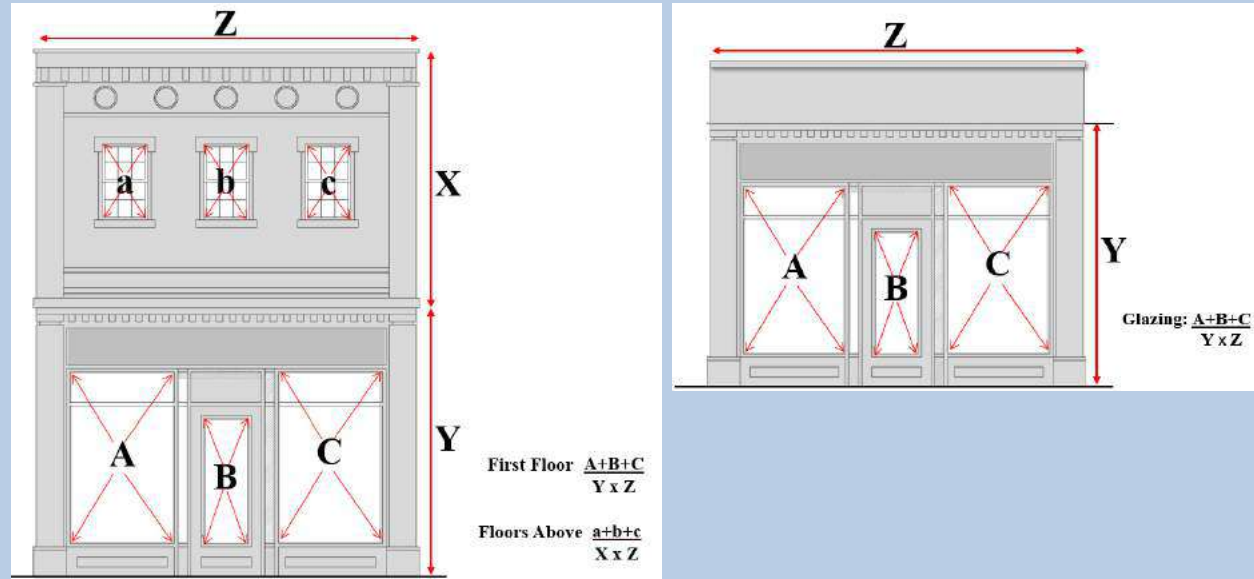


Figure 22. Examples of Glazing

Local examples of glazing meeting the standards

Approx. 30%



Approx. 43%



Approx. 53%



Medical uses meeting the glazing requirements.

- g. Window sills and bulkheads shall extend a minimum of 18 inches and a maximum of 36 inches above the finished floor (see Figure 23). Bay doors reused as windows are exempt from meeting this requirement (see Figure 24). Buildings that are required to be





elevated due to floodplain regulations may measure these distances from the interior finished floor.

- h. Window heads are to extend to a maximum of 10 feet above the finished floor. High transom windows that do not have glazing below them are not allowed on the street facing facades.

Figure 23. Bulkheads/Window Sills



Rochelle's Left window does not have a bulkhead. Right window meets the bulkhead requirements



Figure 24. Bulkheads/Window Sills

Bay doors reused as windows are not required to meet the window sill/bulkhead standard.

#### 6.4.7. Building Entrances

- a. The main entrance of all buildings shall be oriented toward Anastasia Boulevard. Architecture shall reinforce presence of main entrance.
- b. Where parking areas are located behind the building, a secondary pedestrian entrance may be provided from the parking area directly into the building.
- c. Entrances shall be operable, clearly-defined and highly-visible. In order to emphasize entrances, they shall be accented by a change in materials around the door, recessed into the façade (alcove), or accented by an overhang, awning, canopy or similar feature.
- d. Pedestrian connections from the public sidewalk and parking areas to the building entrance shall be provided. Buildings with entrances at a higher elevation than the public sidewalk shall create a transition within the setback (see Figure 25).

#### 3.3.8 Doors

Door types shall be in keeping with the style of architecture. Entries shall be recessed from the main facade to provide for a cover. Doors may be solid or glazed. Doors with partial glazing shall have a maximum glazing of 80%. The acceptable door materials include wood, painted steel, and painted aluminum. Solid glass doors, clear aluminum, clear steel or plastic doors are not allowed.

- Entry doors are generally asymmetrically located on the front façade of the buildings. Entry conditions shall be uniformly one way or the other on a single building with multiple tenants.

#### 3.3.3 Roofing

Roofs are to be of three types: hip, gable, or flat roofs, with parapets. Mansard roofs are not allowed. Approved sloped roof materials are fiberglass shingles, wood shakes, clay tile, concrete tile and standing seam metal roofs. Approved flat roof materials are single ply membrane systems and tar/gravel roofs.

Roof design, pitch and detail shall be in keeping with the overall design of the building. Orientation of gabled roofs shall be with gables to side yards, not facing public rights-of-way. Undulating rooflines or crenellated parapets are not allowed.

Highway Commercial (Anastasia Boulevard)





Figure 25. Pedestrian Transition



- e. Entries shall be recessed from the main façade or under a canopy or awning to provide for a cover. Doors may be solid or glazed. The acceptable door materials include wood, painted steel, and painted aluminum.

**6.4.8. Building Roof**

- a. Buildings with flat roofs shall have a cornice treatment or a parapet. The cornice shall be at least eighteen (18) inches in height. Parapet shall be a minimum of two (2) feet in height.

Figure 26. Garage Fenestration



- b. Sloping roofs shall not exceed the height of the supporting walls.
- c. Roof materials shall be light-colored or a planted surface (green roof).

**6.4.9. Parking Structure Design**

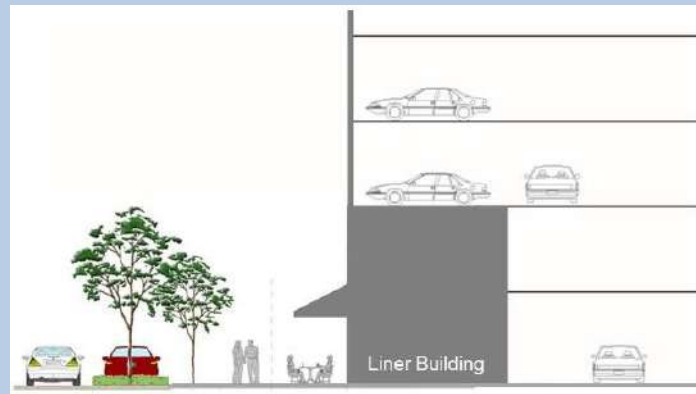
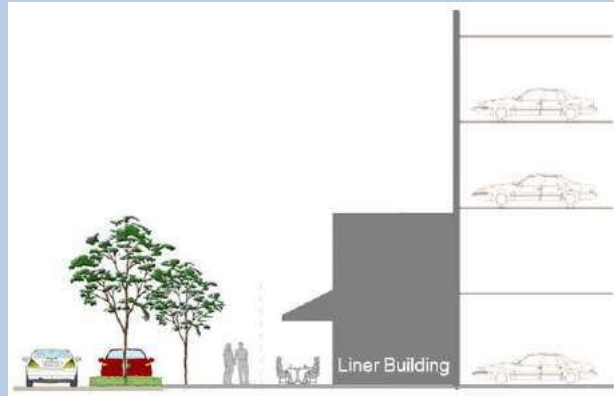
- a. Stand-alone parking garages, which are allowed in the CL-2 zoning district, shall require approval by the CRC.

(3.3.11) Parking garages shall be architecturally integrated and have multiple planes or facades. No single design facade shall extend more than 40 feet on each plane. These individual planes may make up an entire larger facade. Planes shall also have varying setbacks, with a minimum of 1 foot between each plane. Colors shall vary on each. Ventilation openings shall resemble typical fenestration found within a particular area. Architectural finishes shall also vary from plane to plane.

**3.3.10 Building Stairs**

Building stairs shall be designed in keeping with the architecture style of the building. No open exterior stairs are allowed on the street-side exterior face of a building. Exterior stairs viewable from the street are to have closed risers and landings. Allowable materials for construction of exterior stairs includes masonry, brick masonry, frame, and steel.

Figure 27. Liner Buildings



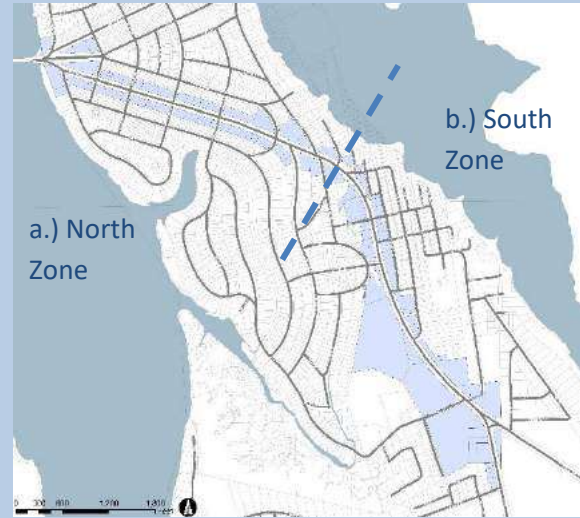
- b. Parking structures accessory to a principal use are required to be placed behind a liner building that houses active uses (e.g. commercial, office, residential). The liner building, which may be attached or detached from the parking structure, may be one story but shall extend for a minimum of seventy-five (75) percent of the length of the parking structure, and shall have a minimum depth of thirty (30) feet. See Figures 26 and 27.
- c. Any portion of the parking structure that is not concealed behind a building shall be screened to conceal all internal elements such as plumbing pipes, fans, ducts and lighting. Ramping should be internalized wherever possible. Exposed spandrels shall be prohibited.
- d. Parking garages not concealed behind liner buildings shall provide a landscaping strip along the façade;
- e. The landscaping strip shall have a minimum depth of 5 feet;
- f. The exterior facades of the parking garage shall be designed to achieve architectural unity with the principal structure.
- g. Parking structures shall meet setback, height, façade articulation and glazing standards contained in this section.

Ventilation openings shall resemble typical fenestration found within a particular area.



## Section 7. Landscaping and Screening Requirements

Figure 28. Landscape Regions Map



### 7.1. Landscaping Sectors/Zones

The landscape character of Anastasia Boulevard is largely segmented into two distinct areas.

- a. The north zone (as defined as north / west of Comares Avenue and South Comares Avenue) is characterized by open vistas and palms.
- b. The south zone (as defined as south / east of Comares Avenue and South Comares Avenue) is characterized by an established coastal oak canopy.

### 7.2. Site Landscaping

This section contains the detailed landscaping standards for properties along Anastasia Boulevard. The quality, installation, mitigation, and maintenance requirements of the City Code shall apply (see Section 25-53 of the Code).

#### 7.2.1. Plant Materials

In general, site landscaping shall consist of native or naturalized plants that thrive in the St. Augustine climate and environment (see plant list in Appendix C). Plants shall be relatively drought tolerant to encourage the conservation of water.

#### 7.2.2. Protection of Existing Landscape

Effort shall be made to minimize disturbance of terrain around buildings or elsewhere on the site, thus reducing the possibility of destroying or damaging important landscape features or archaeological resources. Construction plans shall indicate areas of protection and shall have applicable notes regarding minimal disturbance of landscape elements to be preserved.

Along the south section of the corridor, existing oaks in good health shall be protected when possible. Oaks over 12" dbh to be removed shall have an additional 25% deficit applied to current tree mitigation calculations.

### 7.3. Front Yard / Street Setback Zone Landscape

#### 7.3.1. Landscape Bufferyard Classification

The front yard, fronting Anastasia Boulevard, shall have bufferyard classification 'F' according to City code. Specifically:

- a. Up to 50% of required landscape may be shifted to adjacent side yard

Trees	Shrubs
4 trees per 100' of frontage	20 shrubs per 100' of frontage

#### 3.1.4 Site Landscaping

##### General Conditions

All site landscaping, including site lighting, furnishings, fences, walls, etc., shall be submitted with the packet for review by the appearance review official (ARO). These requirements are an overlay, individual recommendations for landscaping standards are as follows and supplementary to existing landscape codes. (Refer to Appendix B).

#### 3.1.5 Landscape Plants

In general, site landscaping should be native or naturalized plants that (thrive in the St. Augustine climate and environment, see plant list). Plants shall be relatively drought tolerant to encourage the conservation of water. Effort needs to be made to minimize disturbance of terrain around buildings or elsewhere on the site, thus reducing the possibility of destroying or damaging important landscape features or archaeological resources. The architectural review official shall reserve judgement on tree placement according to surrounding conditions and planting area availability.

##### Residential, Institutional and Highway Commercial Areas

In residential and institutional areas with setbacks greater than 10 feet from the sidewalk, three canopy trees shall be required per each 100 linear feet of street frontage. Setbacks of greater than 50 feet shall require 6 canopy trees for the same frontage. These supplementary requirements are in addition to the existing landscape requirements.

Foundation plantings and specimen shrubs shall be in continuous plantings for an area not less than two-thirds the length of the building frontage.

##### Traditional Commercial Areas

It is the intent of commercial buildings to be constructed to the front and side property lines and landscaping is not required between the building and the front or side facing street. A landscape buffer yard with a minimum of 5 feet in width is required for the remainder of the length of properties facing front streets.

##### Parking Lot Landscaping

Landscape plants and planter areas shall be compatibly sized. Where parking abuts sidewalks, parking buffer shall run the length of the sidewalk and have a low knee wall with a decorative cap 18 to 30 inches in height in combination with a single row of hedge material (10 inches wide) on the street side. If there is no wall, a minimum of a 5 foot wide buffer with a double staggered hedge row is required. The wall does not exempt the requirements as identified in the existing city landscape code.



7.3.2. Tree Types



Figure 29. Tree Plantings

To maintain the unique appearance of the north and south sections of Anastasia Boulevard, a minimum of 50% (2 trees per 100' of frontage) shall be the following for each section of the corridor:

North Zone	South Zone
Washington Palms	Live Oaks
Sabal Palms	Southern Red Cedar

Note that for the north zone, 100% of the required trees in the front bufferyard may be palms. If such a planting scheme exceeds the 25% palm maximum for bufferyard trees per City code, this shall be permitted as long as palms are not used as required trees in the other bufferyards.



Figure 30. Tree Compositions

Left | N Zone: Palms and Oaks  
 Right | S Zone: Oaks

[Note: code only allows 25% max palms for required buffer trees.]





### 7.3.3. Percentage of landscape

A minimum of 40% of the bufferyard length, inclusive of drives, mechanical equipment, etc., shall be landscape. Raised planters are encouraged and shall count toward the bufferyard length; however, movable (potted) plants do not count toward a landscape bufferyard.

Figure 31. Landscape Percentage

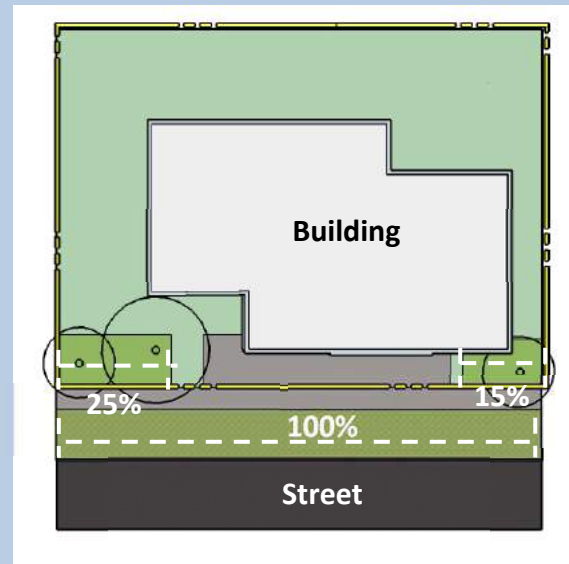


Figure 32. Examples of Planters



## 7.4. Side Yard Landscape

### 7.4.1. Landscape Bufferyard Classification

- a. Screening buffers shall not be required between adjacent non-residential sites along Anastasia Boulevard. [Note: current code 'E']
- b. When side yard setback is adjacent to a residential site:
  - i. Side yard shall have bufferyard classification 'E' according to City code. [Note: current code 'E'] Specifically:



Trees	Shrubs
4 trees per 100' of frontage	20 shrubs per 100' of frontage

- ii. In addition to the expanded setback required in Section 4.3.f and the landscaping required in Section 6, a 6-foot solid vinyl, wood or masonry wall shall be constructed near the property line of the site and adjacent single-family residentially zoned properties to allow for views of the landscape, unless waived in writing by the adjacent property owner. Waiver shall be notarized.

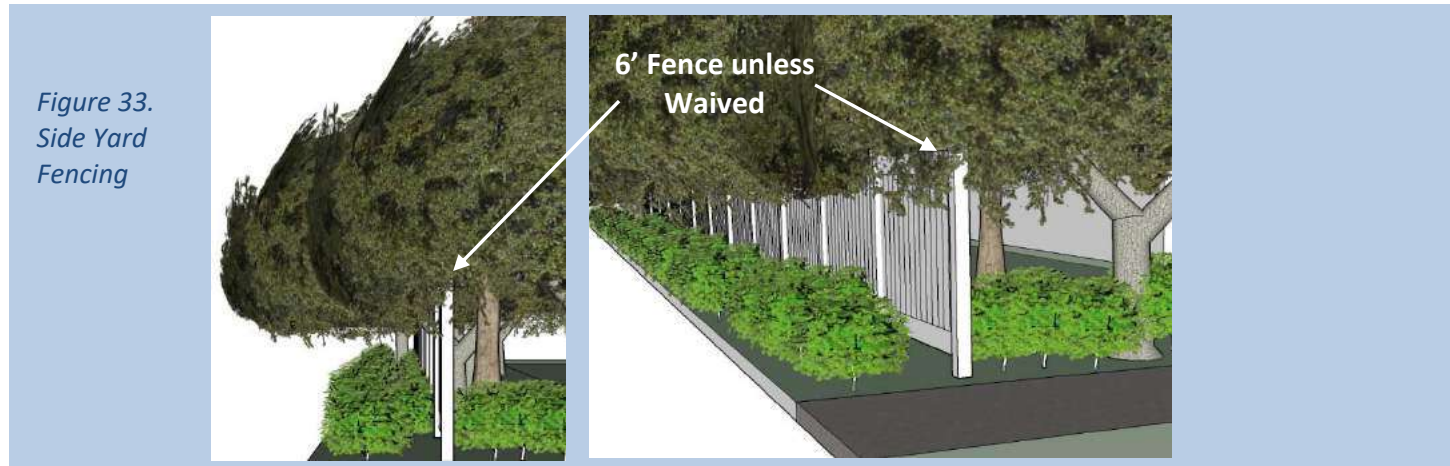


Figure 33.  
 Side Yard  
 Fencing

- iii. When side yard setback is adjacent to a roadway: the side yard shall have bufferyard classification 'F' according to City code. [Note: current code 'E'] Specifically:
- iv. Up to 50% of required landscape may be shifted to a front, rear, or other side yard buffer.

Trees	Shrubs
4 trees per 100' of frontage	12 shrubs per 100' of frontage

- c. Screening buffers shall not be required between adjacent non-residential sites along Anastasia Boulevard.
- d. Vehicular Use Areas: Vehicular areas shall meet the following requirements in addition to the screening requirements set forth for the side and rear yards.
  - i. Within each parking area of five thousand (5,000) square feet or more, there shall be a minimum of five (5) percent of landscaped areas, which shall be reasonably distributed within each five thousand (5,000) square feet of parking area so as to be prorated to fulfill the objectives of this article.
  - ii. Each separate planting area shall contain at least one (1) tree and a tree shall be planted for each one hundred (100) square feet of internal landscaping. All internal landscaping shall be protected from vehicular encroachment by curbing or wheel stops. All



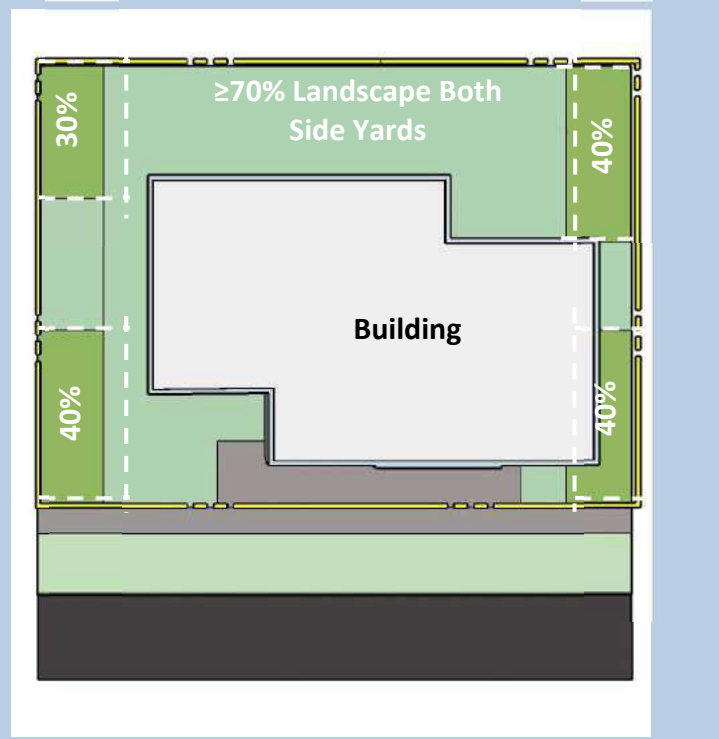


landscape areas shall be a minimum of one hundred (100) square feet, with the least dimension being five (5) feet.

**7.4.2. Percentage of landscape**

- a. A minimum of 70% of the bufferyard length, inclusive of drives, mechanical equipment, etc., shall be landscape. Variance should be allowed if technically unfeasible.

Figure 34. Side Yard Percentage



**7.5. Rear Landscape + Alleyway Bufferyard**

**7.5.1. Landscape Bufferyard Classification**

- a. Unless noted in scenario 6.6.1 b (below), rear yard shall have bufferyard classification 'E' according to City code. [Note: current code 'D'] Specifically:

Trees	Shrubs
4 trees per 100' of frontage	12 shrubs per 100' of frontage

- i. When rear yard setback is adjacent to a residential site: in addition to the expanded setback required in Section 4.3.f and the landscaping required in Section 6, a 6-foot solid vinyl, wood or masonry wall shall be constructed along the property line of the site and adjacent single-family residentially zoned properties, unless waived in writing by the adjacent property owner. Waiver
- ii. Developments across the street from single-family residentially zoned property shall provide a 10-foot landscape buffer along the front of the development. No



fence will be required along the front of a development, except for parking areas which shall provide a street wall as noted in Section 8.6, below.

iii. Up to 50% of required landscape may be shifted to an adjacent side yard.

b. When any setback is adjacent to an alleyway with commercial zoning on both sides: the setback shall be bufferyard classification 'D' according to City code. [Note: current code 'F' for front yard / 'D' for rear yard] Specifically:

Trees	Shrubs
3 trees per 100' of frontage	4 shrubs per 100' of frontage

### 7.5.2 Landscape Percentage

c. A minimum of 70% of the bufferyard length, inclusive of drives, mechanical equipment, etc., shall be landscape.

## 7.6. Fences and Walls

While fences are typically used to achieve privacy on a site, street walls are used to continue the building frontage along a street, to screen vehicular areas such as parking lots, and to frame public zones such as courtyards and outdoor dining areas. Street walls and fences shall meet the following standards:

- a. In the absence of a building façade along any part of a building frontage line, a street wall shall be built in line with (co-planar with) the façade. Breaks are permitted in the street wall to provide vehicular and pedestrian access to the site and for the purpose of tree protection. Street walls shall have openings no larger than necessary to allow automobile and pedestrian access.
- b. Street walls are the only types of fences/walls allowed facing streets and alleys (see Figure 35 and 36). Privacy fences and walls are not allowed between adjacent uses along Anastasia Boulevard.
- c. Street walls shall be located within the front and street setback zone, and may have landscaping or hard surface between the wall and the public sidewalk.
- d. Street walls shall be a minimum of 3 feet in height and shall not exceed a 5 foot maximum. However, the portion of the wall above 3 feet shall be no more than 50% solid.
- e. Street walls shall be constructed of wrought iron, brick, masonry, powder-coated aluminum or stone matching or complimenting the finishes on the building. Chain link, wire, and PVC fencing shall be prohibited.
- f. The area in front of a street wall may be landscaped or used to expand the public sidewalk.
- g. When landscaping is provided between the wall and the public sidewalk, the landscaping strip shall be a minimum of two (2) feet wide.
- h. A three (3) foot landscape strip shall also be provided on the interior side of the street wall.



Figure 35. Examples of Street Walls



**3.1.9 Fences and Wall**

Fences and walls are traditional to St. Augustine. In the older corridors of the city, knee walls are popular and frequently placed to separate public and private spaces. The appropriate wall and fence types are recommended for each area. In addition to the knee wall requirements identified in 3.1.4 for parking lot landscaping. The following requirements apply.

Low knee walls between 18-30 inches in height may be used in screening parking as previously discussed. Decorative wall and wall features shall be used to screen one property from another. The heights shall be appropriate to meet the existing city standards.

Figure 36. Street Walls and Landscaping

Expanded Sidewalk/Hardscape in front of Street Wall

Landscaping in front of Street Wall



**7.7. Mechanical Equipment.**

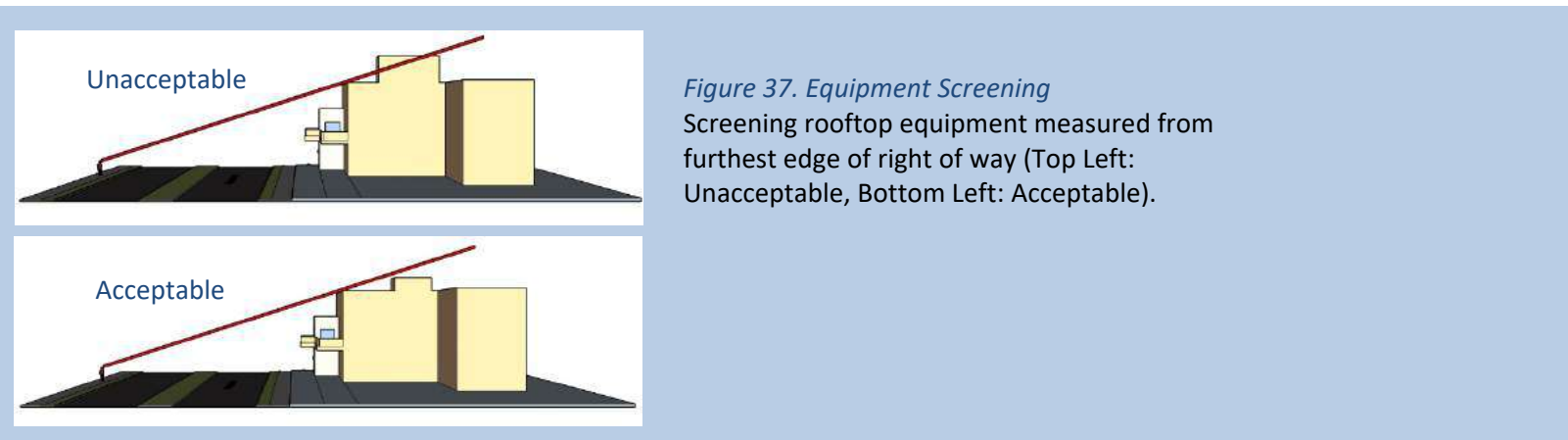
For the purpose of this section, mechanical equipment shall include, but not limited to, a heating, ventilation, or air conditioning unit placed outside of a building, in addition to any utility-related equipment such as backflow preventers, pumps, meters, transformers and similar equipment required to be installed on a development site. Mechanical equipment shall be located so that noise and visual impacts upon abutting residential property are minimized.

- a. Mechanical equipment shall not be permitted within any required building setback unless the utility company determines the setback to be the only possible location.
- b. Mechanical equipment shall not be located between the building and the street. On corner lots, the location of mechanical equipment along a secondary street may be permitted through the modification of standards process (see Section 4.6.2) subject to the screening requirements stated below.
- c. Screening (by wall, solid fence or vegetative matter) that exceeds the height of the equipment shall be required if the equipment is visible from the street or adjacent properties. Certain equipment, such as, but not limited to rain barrels or cisterns, shall not require screening



provided they are designed to blend with the building and are constructed with the same materials and colors.

- d. Air conditioning units and elevator shafts are permitted to go above the standard building height limit but shall be visually screened from all public rights-of-way as shown in Figure 37. This restriction may limit the number of stories that can be built within the 35 foot maximum building height.



#### 7.8. Solid Waste Disposal Facilities

- a. Solid waste disposal facilities, solid waste, recycling, and yard trash containers, except litter containers, and grease containers must be located to the side or rear of the building and shall be concealed from view from all sides by a wall or fence of up to 7 feet in height. The enclosure shall be made of wood, masonry or vinyl and shall be fitted with an opaque sliding or hinged door and working latch. Gates shall be able to be secured in the open position. No chain link fence is allowed for solid waste enclosures.
- b. On corner or double-frontage lots, the disposal facilities shall be accessed from the secondary frontage.
- c. Enclosure shall adhere to City Solid Waste requirements.
  - i. Width of 10-12 feet minimum.
  - ii. Depth of 10-12 feet minimum.
  - iii. Height of 7 feet minimum.
  - iv. Overhead clearance over and in front of dumpster shall be clear of obstructions 20' in height.
  - v. Bumper posts: two (2) steel, 4" diameter set in concrete. Placement 12" from back wall of enclosure.

#### 7.9. Visibility Triangle

All landscaping within the triangular areas described below shall provide unobstructed cross visibility at a level between two (2) and six (6) feet above the ground. Trees having limbs and foliage extending into this cross visibility area shall be allowed, provided that they are so located so as not to create a traffic



hazard. Landscaping, except grass and ground cover, shall not be located closer than three (3) feet from the edge of any accessway pavement. The triangular areas are:

- a. The areas of property on both sides of an accessway formed by the intersection of each side of the accessway and the public right-of-way pavement line with two (2) sides of each triangle being ten (10) feet in length from the point of intersection and the third side being a line connecting the ends or the other sides.
- b. The area of property located at a corner formed by the intersection of two (2) or more public rights-of-way with two (2) sides of the triangular areas being measured thirty (30) feet in length along the abutting edges of pavement, from their point of intersection, and the third being a line connecting the ends of the other two (2) line.





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## Section 8. Signs

Each development shall be allowed up to two (2) building signs per business, and each site may be eligible for a free standing signs, as noted below.

### 8.1. Building Signs

#### 8.1.1. Number and Types of Signs Allowed

- a. Two business identification sign attached to the building shall be allowed per business frontage on a public street. The types of signs allowed are as follows (see Section 2, Definitions):
  - Wall Sign
  - Canopy Sign
  - Awning Sign
  - Projecting Sign
  - Hanging Sign
  - Window Sign
  - Architectural Integrated Sign
- b. Wall signs shall be either a panel or individual letters applied to the wall, shall not project from the wall by more than 12 inches, shall not extend above the top pf the wall where it is located, and in the case of two story buildings, it shall be placed between the first and second floor windows. Signs painted directly onto the façade are not allowed.
- c. Projecting signs may be read horizontally or vertically, may extend into the building setback zone, but not over the public right-of-way. They shall have a clearance of 8 feet from the ground and shall not exceed the height of the building wall where installed.
- d. Canopy signs may be applied to the face of the canopy and shall not exceed 50 percent of the width of the canopy. They are allowed to be placed fully or partially above or below the edge of the canopy, provided the sign consists of individual letters (as opposed to a panel). Canopy signs are also allowed to hang from the bottom of the canopy facing the street. An 8 foot clearance shall be provided.
- e. Awning signs shall not cover more than 30% of the vertical face (or near vertical part) of the awning.



### 3.4 Signs

The overall impression of a downtown retail area is significantly impacted by the collective image of signs. It is the intent of the design standards that these measures promote the concept that sign design is subservient to the overall impression of a downtown streetscape. To prevent the confusion and clutter that can result from unrestricted signs, the following design criteria have been developed. Contents of all signs are regulated by other city ordinances as may be applicable.

#### 3.4.1 Basic Sign Design Standards

Signs may be no larger than allowed by the sign ordinance. Standards for sign design fall under four conditions. Basic to each condition are the following restrictions:

- Two types of signs shall be allowed per storefront.
- One sign is encouraged to be visible at night until 12:00 AM.
- One business identity is allowed per sign.
- Corner buildings shall be allowed two types of signs per street frontage.
- Signs shall be parallel or perpendicular to the building façade. No angle signs allowed.
- Blinking lights, changeable and moveable message boards and electronic message signs are not permitted.
- Back lit plastic signs are not allowed.
- Up-lit and down-lit signs are encouraged.
- Reader boards and information displays are only permitted to display price information for gas stations, hotels/motels, and other sites as may be determined by the architectural review official. In this case only the prices of a major item may be displayed. Signs shall not exceed 24 inches by 28 inches and shall be used in conjunction with other site signs.
- Sign lettering will meet the following size limitations:
  1. For storefronts 30 feet or less, a maximum letter height of 12 inches is recommended.
  2. For storefronts between 30 and 60 feet, a maximum letter height of 18 inches is recommended.
  3. For storefronts 60 feet or greater, a maximum letter height of 24 inches is recommended.

Refer to the following four conditions and to Sign Colors and Lettering (3.4.6) for further sign design restrictions.

#### 3.4.2 Condition 1- Awning or Canopy Sign Plus One Additional Sign

Awning or canopy signs must conform to the following design restrictions:

- Signs on awnings or canopies must occur within and not exceed 30% of the vertical face (or near vertical part) of the awning or canopy. Signs on the angled or curved face are not permitted. Images can be repeated to comprise the 30% space limit. The excessively long vertical face on an awning will not apply to this calculation. Refer to size requirements explained in 3.4.1
- Logo and text elements of a sign for awnings may be either silk-screened or applique stitched.

When an awning or canopy is used, one additional sign shall be permitted for the following:

- A window sign, such as text or an image (logo) applied to the inside of the storefront glass, or a gold leaf/hand painted sign on the storefront glass. These signs shall not occupy more than 25% of available glass of a storefront window or door. Again, this sign type shall not be situated on the storefront to form a major visual obstruction to the display or into the building.
- A hanging sign is only permitted when it is perpendicular to the building. Only one hanging sign may be used per storefront and it should be located at the front door of the business.
  1. When a canopy is present, the hanging sign(s) shall conform to the 8 foot minimum vertical clearance as measured to the bottom of the sign from grade. The maximum length of the sign shall not exceed 50% of the canopy's span from the building façade. The maximum height of this sign shall not exceed 2 feet.



- f. Window signs (silk screen, vinyl letters, gold leaf, hand painted or neon) shall not occupy more than 25% of the glass window or door, and may be allowed for first and second story businesses.
- g. Hanging signs shall not count toward the maximum sign area allowed, provided it is placed under the awning or canopy, perpendicular to the building, and near the front door of the business. Such signs shall have an 8 foot minimum vertical clearance as measured from grade to the bottom of the sign, and a maximum height of 2 feet.
- h. Architecturally integrated signs require Historic Architectural Review Board approval. Such sign, if approved, may be combined with a wall, awning, canopy, projecting or window sign, but not with a freestanding sign. The maximum height of the sign shall not exceed the maximum allowable building height.
- i. Portable signs, streamers and pennants are specifically prohibited.
- j. Blinking lights, bulbs facing the road, changeable and moveable message boards and electronic message signs are not permitted.
- k. Signs shall not obscure architectural details such as windows, cornice, decorative brickwork and storefronts.
- l. If any sign standards in this document are in disagreement with the existing Sign Code, the standards detailed in this document take precedent.

**8.1.2. Building Sign Size**

The total allowable size of all building signs combined shall be as follows, and may be distributed among the various building signs allowed.

Building/Business Frontage	Maximum Combined Sign Size
0-49 feet	120 sq. ft.
50-99 feet	170 sq. ft.
10-199	220 sq. ft.
200 feet and over	250 sq. ft.

**8.1.3. Building Sign Illumination**

- a. Back lit plastic signs are not allowed. Signs may only be illuminated from an exterior light fixture.

- 2. When an awning is present, the hanging sign(s) shall fit within the area beneath the awning and not hang below the awning's lowest point.

**3.4.3 Condition 2- Building Sign Plus One Window or Door Sign**

Building signs must conform to the following design criteria:

- When a sign is applied directly to the building, only one additional window sign may be used (silk screen, vinyl letters, gold leaf, hand painted or neon). In this condition an awning is discouraged.
- Signs applied directly to the building must respect the framework of the structure and be placed comfortably on the façade, preferably between the windowsills on the second story and store front window.

**3.4.4 Condition 3- Second Story Business**

Second story businesses may only use a sign in a second story window on an individual case basis. No signs shall occur in the windows of the third floor and above. Awning signs are not permitted.

An additional sign may appear at the street level entrance from the following list:

- silk-screened image on door glass;
- neon sign behind available fixed/ non-door glass;
- applied letter over the door; and
- street level awning with sign.

**3.4.5 Condition 4-Large Lot Development**

Institutional users, motels, churches and residential office conversions that are set back from the road may employ either ground mounted or pole mounted hanging signs:

- Ground mounted signs may not be greater than 5 feet in height and no greater than 4 feet in width.
- Pole signs may be no greater than 5 feet in height as measured from adjacent grade. Hanging or pole top mounted conditions are both acceptable. Sign poles may not exceed 2 feet x 3 feet and should be constructed of wood.

**3.4.6 Sign Colors and Lettering**

The following standards apply for sign colors and lettering:

- Relate the color of the signs and awnings to that of the building. The use of white letters is encouraged.
- The style of lettering should be compatible with the building as well as with the business.
- The sign should be in proportion to the building and the letter size should likewise be in proportion to the sign.
- Symbols or logos used in place of or in combination with words to identify a business shall count in the calculation of allowable sign space.
- Street address numbers are to be used on the upper part of the door or glass. Store hours are to be located on the door or on the window adjacent to the door. The use of white numbers is encouraged.





b. There shall be no illuminated signs facing a single family home.

Figure 38. Permitted Sign Illumination



From City Code:

(b) Commercial Zone 2.

(1) Permitted signs. The following signs are permitted signs:

- a. Bracket.
- b. Freestanding.
- c. Post.
- d. Wall.
- e. Facia.
- f. Index/informational.
- g. Directory.
- h. Changeable copy, manual.
- i. Illuminated nonflashing electrical.
- j. Shopping center.
- k. Surface graphics.
- l. Window.
- m. Seasonal/holiday.
- n. Temporary window.
- o. Special event.
- p. Affiliation.
- q. Awning.
- r. Canopy.
- s. Menu board.
- t. Time and temperature.

(2) Prohibited signs. The following signs are prohibited signs:

- a. Animated.
- b. Awning.
- c. Billboard.
- d. Bench.
- e. Canopy.
- f. Marquee.
- g. Disfiguring.
- h. Vehicle.
- i. Off-site.
- j. Roof.
- k. Sidewalk/sandwich.
- l. Portable.
- m. Banners, streamers, pennants.
- n. Illuminated flashing electrical.
- o. Changeable copy, automatic.
- p. Flashing.

(3) Number of signs:

Frontage	Number	Maximum Square Footage
0—49 feet	3	120
50—100 feet	4	170
100—199 feet	5	220
200 feet and over	5	250

(4) Maximum size and height. The maximum size of any sign shall be no more than one hundred twenty (120) square feet, provided, however, that any time and temperature sign shall not exceed forty (40) square feet and shall be included within the calculation of the number of and maximum square footage for signs as set forth in subparagraph (3) above and shall not be in addition thereto. The maximum height to the top of a ground/pole sign shall not exceed twenty-five (25) feet.

Figure 39. Prohibited Sign Illumination



Figure 40. Interior Illumination





## 8.2. Free Standing Signs

- a. Freestanding signs are allowed as follows:
  1. Pole signs are the only type of freestanding sign allowed. Pole signs shall not exceed a height of 15 feet measured from the adjacent sidewalk and shall provide a clearance of 8 feet from the ground. Pole signs may be supported by one or two poles, or may be suspended from the structure as shown in Section 2, Definitions. The supporting poles may not exceed 2 feet x 3 feet.
  2. Freestanding signs shall not be placed in front of or within 5 feet from any portion of the building meeting the street setback requirement. They may, however, be allowed in front of parking areas or where the building is recessed.
  3. Reader boards used in conjunction with the pole sign are allowed and shall not exceed 36 inches by 40 inches.





## Appendix A: Architecture

### Mid-Century Modern.

The Anastasia Boulevard Design Standards promote the adoption of the Mid-Century Modern Style for new buildings and renovations. This section describes the style and development patterns from that period in an effort to communicate the desired character for the district.

An architectural survey of Anastasia Island conducted in 2015 identified the style of buildings built prior to 1965 and noted that the predominant style in the corridor is Mid-Century Modern, which in this area reflects the influence of the automobile. There are several hotels/motels and gas stations/auto repair buildings along Anastasia Boulevard with architecture and site design characteristic of that period of development.

Even though the auto-oriented buildings along Anastasia Boulevard, or a great majority of each building, are set back away from the street, they provide a physical connection to the street in the form of canopies and porte-cocheres, or extending portions of the building to the street (U or L-shape building plan). This differentiates them from the more contemporary suburban auto-oriented development that places the buildings behind large expanses of surface parking.

The design of the older buildings along the corridor is simple, with very little ornament and minimal facade expression. Volumes are relatively small and horizontal/rectangular in form. However, some include **geometrical shapes** that contrast with the simplicity of the building.

**Roofs** are varied (flat, gable, hip), but with a predominance of flat roofs. Some buildings have deep overhangs. Other types of roofs in the area include shed roofs and mansard roofs.







The Anastasia Boulevard corridor has a very varied mix of **sign** types. There are pole signs, monument signs, signs on buildings, and most characteristic of the area – signs that are an **integral part of the building** architecture.



**Typical façade materials** include brick, stone, stucco, and wood. There are some examples of decorative concrete block screens. The use of stone and wood provides an interesting contrast on the façades.





**Fenestration is often irregular and asymmetrical.** Some buildings display large plate glass windows. Some of the old gas stations have been converted into retail establishments or restaurants, preserving the large bay doors.



The 2015 survey identified the architecture of the older buildings as mid-century modern and vernacular. **The combination of the older buildings with the newer buildings and renovations have resulted in an eclectic character in the area.** Buildings do not necessarily follow the rules of the classical styles, but instead borrow from the elements of the modern, art deco and even craftsman architecture. Building materials are used to provide variety and color on the façade.

Typical elements found in Mid-Century Modern buildings from that period include:

- Large plate glass windows,
- Accent walls,
- Flat roofs with wide reaching overhangs or fly-away roof lines,
- projecting wings,
- decorative concrete screens,
- streamline railings
- stand-alone signage with similar characteristics.

### **Mediterranean Revival**

The Anastasia Boulevard Design Standards allow the construction of Mediterranean Revival buildings in certain areas. This section contains a description of the style intended to communicate the desired building characteristics for those areas.



Mediterranean Revival buildings in Florida display considerable Spanish influence. The style was popular during the 1920s, and its use continued after the collapse of the boom and in the 1930s. Identifying features of the style include flat or hip roofs, usually with some form of parapet; ceramic tile roof surfacing; stucco facades; entrance



porches, commonly with arched openings supported by square columns; casement and double hung sash windows; and ceramic tile decorations. One of the largest examples of the style in the survey area are the original 12 structures (ten remaining) built during the D. P. Davis era. The buildings display irregular massing with flat and gable roofs trimmed with ceramic barrel tiles. Textured stucco serves as the exterior wall fabric, and arches accent the doors and windows along the first story. Shields and canals adorn the wall surfaces. (from 2015 *Architectural Survey of Anastasia Island Structures*, Environmental Services, Inc.)

See the 2015 *Architectural Survey of Anastasia Island Structures*, compiled by Environmental Services, Inc., for more information on the development, architectural styles, and composition of the Anastasia Boulevard Corridor.





## Appendix B: Building Color

Color chips from Sherwin Williams website.

[www.sherwin-williams.com](http://www.sherwin-williams.com)

*Note the original color chips may appear slightly differently from the computer resolution / appearance.*



*Sherwin Williams Color Palette: 1950s*



The exuberant post war boom was a mix of styles with mid-century modern and Scandinavian influences making the most impact. Pastels are the norm with pink and turquoise appliances adorning the kitchen and laundry room. Lilac and Chartreuse are very popular.



SW 0073  
**Chartreuse**  
Interior



SW 0074  
**Radiant Lilac**  
Interior / Exterior



SW 0075  
**Holiday Turquoise**  
Interior / Exterior



SW 0076  
**Appleblossom**  
Interior / Exterior



SW 0077  
**Classic French Gray**  
Interior / Exterior



SW 0078  
**Sunbeam Yellow**  
Interior



SW 0079  
**Pinky Beige**  
Interior / Exterior



SW 0080  
**Pink Flamingo**  
Interior / Exterior





Color chips from Sherwin Williams website.

[www.sherwin-williams.com](http://www.sherwin-williams.com)

*Note the original color chips may appear slightly differently from the computer resolution / appearance.*



*Sherwin Williams Color Palette: Seaside*



SW 7531  
**Canvas Tan**  
Interior / Exterior



SW 6211  
**Rainwashed**  
Interior / Exterior



SW 6220  
**Interesting Aqua**  
Interior / Exterior



SW 6416  
**Sassy Green**  
Interior / Exterior



SW 7005  
**Pure White**  
Interior / Exterior



SW 6430  
**Great Green**  
Interior



SW 7744  
**Zeus**  
Interior / Exterior



SW 6464  
**Aloe**  
Interior / Exterior



SW 7527  
**Nantucket Dune**  
Interior / Exterior



SW 6325  
**Constant Coral**  
Interior / Exterior



SW 7509  
**Tiki Hut**  
Interior / Exterior



SW 6415  
**Hearts of Palm**  
Interior / Exterior



SW 7044  
**Amazing Gray**  
Interior / Exterior



SW 6374  
**Torchlight**  
Interior / Exterior



SW 6614  
**Quite Coral**  
Interior / Exterior



SW 6243  
**Distance**  
Interior / Exterior



Color chips from Sherwin Williams website.

[www.sherwin-williams.com](http://www.sherwin-williams.com)

*Note the original color chips may appear slightly differently from the computer resolution / appearance.*



*Sherwin Williams Color Palette: Vintage*





Color chips from Sherwin Williams website.

[www.sherwin-williams.com](http://www.sherwin-williams.com)

*Note the original color chips may appear slightly differently from the computer resolution / appearance.*



*Nature / Subdued Color Palette: Mid-Anastasia Colors*

Everyday White SW 6077	Biscuit SW 6112	Savajo White SW 6126	Muslin SW 6133	Sagey SW 6175	Topsoil SW 6217	Ibis White SW 7000	Ceiling Bright White 7007
Realist Beige SW 6070	Interactive Cream SW 6116	ivoire SW 6127	Netruke SW 6134	Liveable Green SW 6176	Tradewind SW 6218	Marshmallow SW 7001	Alabaster SW 7008
Diverse Beige SW 6079	Bagel SW 6114	Blonde SW 6128	Ecru SW 6135	Sifted Green SW 6177	Rain SW 6219	Dovey SW 7002	Pearly White SW 7009
Utterly Beige SW 6090	Totally Tan SW 6115	Restrained Gold SW 6121	Harmonic Tan SW 6136	Clary Sage SW 6178	Interesting Aqua SW 6220	Toque White SW 7003	White Duck SW 7010
Down Home SW 6081	Tatami Tan SW 6116	Mannered Gold SW 6130	Burlap SW 6137	Artichoke SW 6179	Moody Blue SW 6221	Snowbound SW 7004	Natural Choice SW 7011
Cobble Brown SW 6082	Smoky Tanager SW 6117	Okameiz SW 6131	Artifact SW 6138	Oakmoor SW 6180	Riverway SW 6222	Pure White SW 7005	Creamy SW 7012
Sable SW 6083	Leather Bound SW 6119	Teal Bronze SW 6132	Mazy Gold SW 6139	Secret Garden SW 6181	Soft Water SW 6223	Extra White SW 7006	Ivory Lace SW 7013



## Appendix C: Landscape Plant List

*Botanical Name*                      *Common Name*

### Street Trees

<i>Quercus laurifolia</i>	Laurel Oak
<i>Quercus virginiana</i>	Live Oak
<i>Quercus shumardii</i>	Shumard Oak
<i>Plantanus occidentalis</i>	Sycamore
<i>Taxodium distichum</i>	Bald Cypress
<i>Ulmus parrifolia</i>	Drake Elm

### Street Palms

<i>Phoenix canariensis</i>	Canary Island Date Palm
<i>Phoenix dactalifera</i>	Date Palm
<i>Phoenix sylvestris</i>	Sylvestris Date Palm
<i>Sabal palmetto</i>	Sabal Palm
<i>Washingtonia robusta</i>	Washington Palm

**Note: palms in blue required for north section of Anastasia Boulevard.**

### Accent Trees and Palms

<i>Acer rubrum</i>	Red Maple
<i>Bambusa spp.</i>	Bamboo (clumping)
<i>Butia capitata</i>	Pindo Palm
<i>Cercis cananadensis</i>	Redbud
<i>Ilex cassine</i>	Dahoon Holly
<i>Ilex opaca</i>	American Holly
<i>Ilex vomitoria</i>	Yaupon Holly
<i>Juniperus silicicola</i>	Southern Red Cedar
<i>Juniperus virginiana</i>	Eastern Red Cedar
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Ligustrum spp.</i>	Ligustrum
<i>Liquidambar styraciflua</i>	Sweetgum
<i>Livistonia chinensis</i>	Chinese Fan Palm
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Myrica cerifera (Morella cerifera)</i>	Wax Myrtle
<i>Phoenix reclinata</i>	Senegal Date Palm
<i>Prunus agustifolia</i>	Chickasaw Plum
<i>Prunus calleryana</i>	Bradford Pear
<i>Prunus caroliniana</i>	Cherry Laurel
<i>Trachycarpus fortunei</i>	Windmill Plum

*Botanical Name*                      *Common Name*

### Hedges\*, Shrubs\*, Cycads and Palms

(\*To be used as hedge or screen for parking lots.)

<i>Abelia grandiflora*</i>	Abelia
<i>Camellia japonica</i>	Camellia
<i>Camellia sasanqua</i>	Sasanqua Camellia
<i>Cassia spp.</i>	Cassia
<i>Cortaderia selloana</i>	Pampas Grass



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<i>Crinum spp.</i>	Crinum Lily
<i>Eleagnus pungens*</i>	Silverthorn
<i>Eragrostis spectabilis</i>	Purple Lovegrass
<i>Feijoa sellowiana*</i>	Feijoa
<i>Galphimia (or Thryallis) glauca</i>	Thryallis
<i>Gardenia jasminoides</i>	Gardenia
<i>Hibiscus spp.</i>	
Hibiscus	
<i>Ilex cassine</i>	Dahoon Holly
<i>Ilex cornuta*</i>	Chinese Holly
<i>Ilex cornuta* "Burfordi"</i>	Burford Holly
<i>Ilex crenata</i>	Japanese Holly
<i>Ilex vomitoria "nana"</i>	Dwarf Yaupon Holly
<i>Illicium anisatum*</i>	Star Anise
<i>Illicium parviflorum*</i>	Yellow Anise
<i>Juniperus chinensis*</i>	Chinese Juniper
<i>Juniperus spp.</i>	Junipers
<i>Lantana camara</i>	Lantana
<i>Ligustrum japonicum*</i>	Japanese Privet
<i>Magnolia grandiflora 'Little Gem'</i>	Little Gem Magnolia
<i>Muhlenbergia capillaris</i>	Muhly Grass
<i>Nandina domestica</i>	Heavenly Bamboo
<i>Nerium oleander</i>	Oleander
<i>Philodendron selloum</i>	Split Leaf Philodendron
<i>Photinia fraseri</i>	Fraser's Photinia
<i>Pittosporum tobira*</i>	Pittosporum
<i>Plumbago auriculata</i>	Plumbago
<i>Podocarpus macrophyllus*</i>	Podocarpus
<i>Pyracantha coccinea</i>	Firethorn Pyracantha
<i>Raphiolepis indica</i>	Indian Hawthorn
<i>Rhapidothymum hystrix</i>	Needle Palm
<i>Rhododendron indica*</i>	Indica Azaleas
<i>Rhododendron obtusum</i>	Dwarf Azaleas
<i>Rhododendron kurume</i>	Kurume Azaleas
<i>Serenoa repens</i>	Saw Palmetto
<i>Spartina spp.</i>	Cordgrass
<i>Thuja occidentalis</i>	American Arborvitae
<i>Viburnum odoratissimum*</i>	Sweet Viburnum





*Botanical Name*

*Common Name*

**Hedges\*, Shrubs\*,  
 Cycads and Palms  
 continued**

(\*To be used as hedge or screen for parking lots.)

<i>Viburnum suspensum*</i>	Sandankwa Viburnum
<i>Viburnum Tinus</i>	Laurustikus Viburnum
<i>Yucca elephantipes</i>	Spineless Yucca
<i>Yucca smalliana floridana</i>	Bear Grass <i>Zamia</i>
<i>Zamia furfuracea</i>	Coontie Cardboard Plant

**Groundcovers**

<i>Aspidistra elatior</i>	Cast Iron Plant
<i>Catharanthus roseus</i>	Periwinkle, Vinca
<i>Cyrtomium falcatum</i>	Holly Fern
<i>Dietes iridioides</i>	African Iris
<i>Ficus pumila</i>	Creeping Fig
<i>Gaillardia pulchella</i>	Gaillardia
<i>Gelsemi sempervirens</i>	Carolina Jessamine
<i>Gerbera jamesonii</i>	Gerbera Daisy
<i>Hedera canariensis</i>	Algerian Ivy
<i>Hedera helix</i>	English Ivy
<i>Hemerocallis spp.</i>	Day Lilly
<i>Helianthus debilis</i>	Beach Sunflower
<i>Ipomoea stolonifera</i>	Beach Morning Glory
<i>Iris virginica</i>	Blue Flag
<i>Lantana depressa</i>	Yellow Pineland Lantana
<i>Lantana montevidensis</i>	Weeping Lantana
<i>Liriope spp.</i>	Lilly Turf
<i>Lonicera japonica "Halliana"</i>	Hall's Honeysuckle
<i>Nandina domestica "nana"</i>	Dwarf Heavenly
<i>Nephrolepis exaltata</i>	Sword or Boston Fern
<i>Ophiopogon japonicus</i>	Mondo Grass
<i>Pittosporum tobira "nana"</i>	Dwarf Pittosporum
<i>Rudbeckia hirta</i>	Black Eyed Susan
<i>Trachelospermum asiaticum</i>	Confederate Jasmine
<i>Trachelospermum jasminoides</i>	Star Jasmine
<i>Tulbaghia violacea</i>	Society Garlic
<i>Vinca major</i>	Bigleaf Periwinkle
<i>Zamia floridana</i>	Coontie

*Botanical Name*

*Common Name*

**Vines**

<i>Clematis dioscoreifolia virginiana</i>	Japanese Clematis <i>Celmatis</i>
<i>Glesmium sempervirens</i>	Sweet Autumn Clematis
<i>Hedera canariensis</i>	Carolina Jasmine
<i>Hedera helix</i>	Algerian Ivy
<i>Ipomoea stolonifera</i>	English Ivy
<i>Jasminum multiflorum sambac</i>	Beach Morning Glory
<i>Lonicera japonica "halliana" sempervirens</i>	Downy Jasmine <i>Jasminum</i>
<i>Parthenocissus quinquefolia</i>	Arbian Jasmine
<i>Trachelospermum asiaticum</i>	Hall's Honeysuckle <i>Lonicera</i>
<i>Trachelospermum jasminoides</i>	Coral Honeysuckle
<i>Wisteria sinensis</i>	Virginia Creeper
	Confederate Jasmine
	Star Jasmine
	Chinese Wisteria

**Turfgrass**

Bahia Grass
Bermuda Grass
Centipede Grass
St. Augustine Grass
Zoysia Grass

**Plants Not Listed**

All native plantings as defined by UF/IFAS or USDA to northeast Florida may be used in addition to this list.

All plantings defined as "Florida Friendly" and suited to northeast Florida's climate by UF/IFAS may also be used.

Refer to the Florida-Friendly Landscape website for more assistance: <http://fyn.ifas.ufl.edu/>



City of St. Augustine  
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Appendix D: Structures Deemed Significant to District Character



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March 9, 2017

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